



New Brighton Planning Commission

**New Brighton City Hall | City Council Chambers
803 Old Highway 8 NW, New Brighton, MN 55112
6:30 PM May 19, 2026**

Members of the Planning Commission will attend the meeting in person unless eligible to attend remotely per MN Stat. 13D.02.

To participate in this meeting, members of the public may:

- **Attend the meeting in person.**
- **Watch the meeting electronically.** Tune into CTV Channel 8023 (CenturyLink) or Channel 16 (Comcast). To observe the meeting as a livestream or a webcast, visit NBMN.info/View-A-Meeting

I. Call to Order

II. Roll Call

Chair Tim McQuillan

Vice-Chair Eric Nelson

Commissioner Karen Collins

Commissioner Abby Bryant

Commissioner Andre Kuiper

Commissioner Ian Pirner

III. Approval of Agenda

IV. Approval of Past Minutes

1. April 21, 2026

V. Report from City Council Liaison

VI. Public Hearings

VII. Business Items

1. **Conditional Use Permit / Site Plan Amendment, and easement vacation request:** Application from Global Academy to construct a new educational greenhouse feature on their school campus at 3000 5th St NW – PID 30-30-23-23-0044. The desired location will require partial vacation of an existing pondage and flottage easement to make way for the new building footprint.
2. **Conditional Use Permit / Site Plan:** Application from Atonement Church and Little

Voyageurs Montessori School to allow a new pre-school + kindergarten to operate out of a portion of the Atonement Church building at 1980 Silver Lake Road NW – PID 18-30-23-34-0077.

VIII. Adjournment



**MINUTES
PLANNING COMMISSION
April 21, 2026 City Hall
Council Chambers 6:30 p.m.**

I. Call to Order

The meeting was called to order at 6:30 p.m.

II. Roll Call

Members Present: Chair Tim McQuillan, and Commissioners Abby Bryant, Karen Collins, Andre Kuiper, Eric Nelsen and Ian Pirner

Members Absent: None

Also Present: Ben Gozola – Assistant Director of Community Assets and Development

III. Approval of Agenda

Motion by Commissioner Pirner, seconded by Commissioner Collins, to approve the April 21, 2026 agenda as presented.

Approved 6-0.

IV. Approval of Minutes

Minutes from March 17, 2026

Motion by Commissioner Nelsen, seconded by Commissioner Pirner, to approve the March 17, 2026 meeting minutes as presented.

Approved 6-0.

V. Report from City Council Liaison

There was no report from the City Council.

VI. Public Hearing

(A) **Clearscape Applications:**

1. **Conditional Use Permit/Site Plan Amendment:** Application from DJs Landscaping (Clearscape) to amend the previously approved conditional use permit governing parking and outdoor storage on the site at 125 & 175 Old Highway 8 -- PIDs 32-30-23-12-0019 and 32-30-23-12-0026.

Assistant Director of Community Assets and Development Gozola reported Clearscape Holdings LLC is back before the City to once again seek changes to their previously approved Conditional Use Permit (CUP) from 2021. This will be the fifth such plan to come forward, but we believe this is (hopefully) the last iteration we'll need to review. Up until now, the evolving economics of parking lot and stormwater pond construction were a major impediment to getting this project completed. Since the last application, DJs Landscape Management has acquired Clearscape which infuses the capital needed to complete this work. Staff provided further comment on the request and recommended approval of the Conditional Use Permit/Site Plan Amendment, based on the findings of fact and subject to the following conditions:

1. Engineering comments in the April 14, 2026, engineering memo shall all be addressed.
2. The applicants shall provide the City with documentation showing an easement is in place to allow construction of the proposed drainage pond on the adjacent property to the east.
3. The proposed salt bin structure shall be conforming to height standards for the IL zoning district (40').
4. The property owner shall provide requested traffic data to the county before beginning improvement work, and shall agree to work with DCAD staff and/or County staff on revisions to traffic flow to and from the site if safety on public roadways ever becomes a concern.
5. Lighting on the site and building shall be directed downward and be installed so as to prevent direct light from being detectable at all lot lines. Lighting is also not to shine directly into the public right-of-way. Any problems with existing lighting that are later identified shall be brought into compliance with code requirements.
6. The applicants shall provide a narrative of spill control practices for equipment and materials stored near creek and come to an agreement with DCAD staff on final mitigation measures to contain and prevent materials from leaving the site and entering the creek/ditch as may be needed (both now and in the future).
7. The applicant must obtain all necessary permits and address all comments and outstanding items for the RCWD prior to initiating site improvements.
8. The applicant shall be required to address stormwater concerns if unforeseen issues arise (or become foreseeable) as a result of the on-site storage of equipment or materials.
9. The applicants shall stripe the new employee parking lot and customer spaces per the approved plan upon completion of paving.

10. The applicant must either make further site improvements to eliminate the tracking of dirt into the public rights-of-way, or the owner must continuously monitor vehicle tracking of dirt/mud into the public streets, and if tracking is observed, it must be swept/removed/cleaned within 24 hours.
11. The applicant shall make contact with the Fire Marshall to discuss and resolve emergency access to the site through the proposed gated entries.
12. The applicant shall consider the installation of a new fire hydrant in front of the property when completing parking lot improvements to improve fire safety for this site.
13. The applicant shall ensure that the arrangement of vehicles and materials within the outdoor storage area allow for large vehicle turning movements within that portion of the site.
14. The applicants will provide the fire marshal with updated Material Safety Data (MDS) sheets as may be needed.
15. Sign changes on the building and/or site will need to be reviewed and approved via a separate sign permitting process.
16. Final aesthetic details of the proposed (opaque) screening fence panels and the slatted gate panels shall be administratively approved by DCAD staff before purchase and installation to ensure the final designs are acceptable for the intended purpose (grams per square meter for the screening material should be a minimum of 200, and poles on gates shall be closely spaced such that the gates appear to be opaque unless viewed head-on).
17. All business-related parking shall be required to park on-site. On-street employee parking along the remaining portion of 8th Ave SW shall be discontinued following completion of the on-site employee parking lot.
18. Easements for public utilities, to the satisfaction of the City Attorney, shall be provided concurrently with the vacation of a portion of 8th Avenue SW. Failure of the concurrent right-of-way vacation to be approved shall render this site plan approval void.

Commissioner Pirner asked if the Commission would just be taking action on the conditional use permit and not the right of way vacation. Assistant Director of Community Assets and Development Gozola reported this was the case. He noted the information on the right of way vacation was being provided to the Commission as a component of the request noting the Council would be taking action on this item on Tuesday, May 12.

Commissioner Collins questioned who the property owner was that would be impacted by the pond easement. Assistant Director of Community Assets and Development Gozola reported this was the adjacent property owner.

Motion by Commissioner Pirner, seconded by Commissioner Collins to open the Public Hearing.

Approved 6-0.

The Public Hearing was opened at 6:41 p.m.

Josh Fox, Clearscape representative, introduced himself and thanked the Commission for considering his request. He noted the Barnhart Crane family owns the property on the other side of the creek.

Commissioner Nelsen indicated there was a modest increase in the number of parking spaces. He questioned if the number of parking spaces would be adequate. Mr. Fox reported the plan does include growth for his business and he explained this would be the long term home for Clearscape.

Chair McQuillan appreciated the fact that the applicant's plan included and addressed future growth.

Motion by Commissioner Kuiper, seconded by Commissioner Pirner to close the Public Hearing.

Approved 6-0.

The Public Hearing closed at 6:46 p.m.

Commissioner Nelsen asked if the vacation of the right of way would limit the City in any way. Assistant Director of Community Assets and Development Gozola explained if this area were to redevelop, a platting process would occur and the right of way would be put in the correct location. He commented the City had easements in place and would not have to take care of a road that was only serving one business.

Chair McQuillan inquired if the applicant understood and supported all of the listed conditions. Mr. Fox stated he supported the conditions as recommended by staff.

Motion by Commissioner Kuiper, seconded by Commissioner Pirner to recommend the City Council approve the proposed site plan amendment based on the findings of fact and conditions listed on pages 13 and 14 of the staff report as may have been amended here tonight.

Approved 6-0.

2. ROW Vacation: Request from DJs Landscaping (Clearscape) to vacate a portion of 8th Avenue SW.

Assistant Director of Community Assets and Development Gozola this item will go before Council for a public hearing on May 12th. This is only provided to the Planning Commission at this time for review and comment as the commission sees fit. The portion of 8th Avenue SW proposed for vacation only serves the DJs landscape property. Terminating the road as proposed will save taxpayers money for maintenance and replacement over the long-term.

(B) Conditional Use Permit Amendment: Application from T-Mobile to add a backup power generator to their existing equipment adjacent to the City water tower at 700 Silver Lake Road NW -- PID 30-30-23-21-0067.

Assistant Director of Community Assets and Development Gozola reported T-Mobile would like to install a backup power generator to provide power during outages to ensure their equipment and communications are still available when everything else is down. Staff provided further comment on the request and recommended approval of the Conditional Use Permit Amendment, based on the findings of fact and subject to the following conditions:

1. The generator fuel tank shall be double-walled (to prevent unintentional diesel spills), and shall include a leak-detection device between the walls of the fuel tank to prevent possible future spills.
2. Prior to purchase and installation, the applicant provide adequate detail to DCAD staff on the decibel level of the unit while in operation.
 - a. If deemed necessary by DCAD staff, sound attenuation shall be added as needed to ensure compliance with code at all times.
 - b. If the issue is borderline in the opinion of DCAD staff, sound attenuation improvements may be delayed until such time as complaints are ever received about noise levels.
3. Testing of the generator unit shall only occur during the work week (Monday through Friday), only occur during the mid-day hours (10:00 a.m. through 2:00 p.m.), and shall not occur more frequently than recommended by the manufacturer.
4. Prior to purchase and installation, T-Mobile shall complete a lease amendment with the City to address the additional space being utilized by the generator.
5. Within 60 days of this conditional use permit amendment approval, the applicants shall pay the application fee of \$700 or the approval shall be null and void.

Commissioner Kuiper questioned how the City would address noise concerns if the generator was not operating properly. Assistant Director of Community Assets and Development Gozola explained T-Mobile would have to come back to the table to discuss this issue with staff and would have to consider additional sound mitigation measures.

Motion by Commissioner Nelsen, seconded by Commissioner Pirner to open the Public Hearing.

Approved 6-0.

The Public Hearing was opened at 6:55 p.m.

There were no comments from the public.

Motion by Commissioner Collins, seconded by Commissioner Kuiper to close the Public Hearing.

Approved 6-0.

The Public Hearing closed at 6:56 p.m.

Motion by Commissioner Pirner, seconded by Commissioner Kuiper to recommend the City Council approve the requested conditional use permit amendment to authorize the installation of a generator to accompany the existing T-Mobile equipment shed at 700 Silver Lake Road based on the findings of fact and conditions listed on pages 10 & 11 of the report as may have been amended here tonight.

Approved 6-0.

(C) Conditional Use Permit: Application from Faith Christian Reformed Church to operate a small school out of their existing Church located at 1600 Silver Lake Road NW -- PID 19-30-23-21-0101.

Assistant Director of Community Assets and Development Gozola reported Faith Christian Reformed Church is seeking to welcome GraceWay Chinese English Christian Academy to 1600 Silver Lake Road NW to operate their school in the coming years. GraceWay is losing their current location in Arden Hills at the end of this school year and are seeking a new location prior to the '26-'27 school year. Staff provided further comment on the request and recommended approval of the Conditional Use Permit, based on the findings of fact and subject to the following conditions:

1. No more than 30 students are authorized under this conditional use permit. Enrollment of over 30 students shall NOT occur until this CUP is amended to allow for a larger enrollment number subject to additional conditions.
2. The outdoor play area shall be cordoned off from the rest of the parking lot with a visible barrier to ensure cars in the parking lot know which areas to avoid during the school day. This barrier shall span the width of the entire parking lot and drive aisles and allow no car movement north of the boundary.
3. Servicing of the garbage enclosure shall be prohibited during recess hours, and during the two hours both preceding and following recess hours. If the garbage enclosure is serviced during the school day outside of prohibited hours, someone will need to manually move the vehicle barrier upon arrival and departure. Servicing the enclosure over the weekend, before school hours, or after school hours is advised.
4. Fencing shall be installed in a manner consistent with code to encompass the outdoor play area to keep children on the property and prevent them from getting down to Silver Lake Road. Final configuration of fencing shall be approved by DCAD staff prior to purchase and installation of fencing materials.
5. The irrigation system low voltage line currently sitting above ground and running through the proposed play area shall be buried on the applicant's property and be made inaccessible to the proposed play area.

6. Should stacking of parent pick-up/drop-off vehicles ever back up into the roadway, the school shall meet with DCAD staff to identify and implement a new pick-up/drop-off plan to eliminate all backups into the public road.

Assistant Director of Community Assets and Development Gozola requested a condition be added to the recommendation for approval that some sort of barrier be placed in the parking lot to assist with directing vehicular traffic during pick-up/drop-off times. It was noted this barrier would have to be tall enough to be seen in winter months or during a snow event.

Motion by Commissioner Collins, seconded by Commissioner Kuiper to open the Public Hearing.

Approved 6-0.

The Public Hearing was opened at 7:06 p.m.

Ho Bashiur, resident of Midtown Village, explained her children attend GraceWay School and noted she volunteered to teach Chinese every Tuesday afternoon. She discussed how GraceWay was a small school but she appreciated how the students were learning both English and Chinese at this relationship based, religious school. She indicated she greatly appreciated how affordable this schooling option was for her family.

Doug Evick, President of the Council for New Brighton's Faith Christian Reformed Church, explained his church developed this property 60 years ago and has had a lot of growth over time. He reported the site is four acres in size. He stated he has struggled with how to utilize the site except for Sundays and several nights a week. He described how the partnership with GraceWay would be a great way to utilize this property during the week. He reported the church would be willing to install a fence along the retaining wall. He thanked City staff for all of their assistance with this request.

Nancy Odacovy, 1588 26th Avenue NW, reported she lived in the cul-de-sac across from the church. She indicated she had concerns regarding traffic and questioned what the hours of operation would be for the school.

Joel Bendell, 790 10th Avenue NW, reported his daughter was a student at GraceWay School. He explained the school was a wonderful community with small class sizes that taught both English and Chinese. He hoped the Commission would offer their support for this request.

Warren Weber, 4843 Nottingham Place in Shoreview, explained he served on the board at Faith Christian Reformed Church. He questioned if the City would allow GraceWay to grow beyond 30 students in the future.

Kristin Tab, resident of Coon Rapids, indicated she was a teacher and mother of two students at GraceWay. She stated it was a gift for her to be able to send her two sons to this school in order to receive instruction in English and Chinese. She appreciated the loving environment this school has provided for her sons.

Eddie Kern, resident of Roseville, explained he had two children that attended this school. He understood parking and traffic was a concern from the neighbors. He was of the opinion this would not be a concern because there were only ten or twelve families that would be dropping off and picking up students from the school.

Pastor Jeff Goodwin, GraceWay, stated he has been with GraceWay for the past five years. He reported he taught Christ-centered martial arts as a non-profit Christian ministry. He indicated this was the best group of students he has ever worked with. He appreciated the way respect was valued at this school by the parents, students and teachers. He stated he was delighted to see this group moving into the City of New Brighton.

Motion by Commissioner Kuiper, seconded by Commissioner Collins to close the Public Hearing.

Approved 6-0.

The Public Hearing closed at 7:19 p.m.

Assistant Director of Community Assets and Development Gozola addressed the questions that were raised during the public hearing. He explained staff does not believe this use would impact traffic or create blocks on the street. He indicated staff had included a condition for approval that if this were to become an issue, the applicant would have to come to the City with a solution. He discussed the process that would have to be followed by the school in order to request an amendment to allow for more students.

Commissioner Kuiper asked if students would be arriving by bicycle or walking, noting he was concerned by the fact Silver Lake Road only had sidewalks on one side of the street. Assistant Director of Community Assets and Development Gozola explained the City recognized this fact, but did not recommend a condition of approval be added for this planning case.

Chair McQuillan asked how many staff members and teachers were employed by GraceWay.

The Principal of GraceWay School (no name given), noted the school had 15 employees. She explained four to seven teachers taught in the morning and three teachers taught in the afternoon.

Chair McQuillan reported the City should insist on the fencing for the students safety. He recommended the play area be roped off in order to keep children away from vehicles in the parking lot.

Commissioner Nelsen questioned if the after school activities would be moving to this site. The Principal reported the operating hours of the school were until 5:00 p.m. and school ends at 3:00 p.m. She noted after school activities occur from 3:00 p.m. to 5:00 p.m.

Motion by Commissioner Pirner, seconded by Commissioner Collins to recommend the City Council approve the requested conditional use permit authorize a small school to operate from the property at 1600 Silver Lake Road NW based on the findings of fact and conditions listed on pages 12 & 13 of the report as may have been amended here tonight adding the staff recommended barrier language to Condition 2.

Approved 6-0.

VII. Business Items

None.

VIII. Adjournment

Motion by Commissioner Pirner, seconded by Commissioner Collins to adjourn the meeting.

Approved 6-0.

Meeting adjourned at 7:31 PM

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Ben Gozola". The signature is stylized and cursive.

Ben Gozola
Assistant Director of Community Assets and Development



Agenda Section:	Business Items
Meeting Date:	May 19, 2026

REQUEST FOR COUNCIL CONSIDERATION – EXECUTIVE SUMMARY

ITEM DESCRIPTION: Conditional Use Permit / Site Plan Amendment, and easement vacation request: Application from Global Academy to construct a new educational greenhouse feature on their school campus at 3000 5th St NW – PID 30-30-23-23-0044. The desired location will require partial vacation of an existing pondage and flottage easement to make way for the new building footprint.

Action Requested: <u>Public Hearing</u>
Form of Action: <u>Recommendation</u>
Votes Needed: <u>4 Votes</u>

Summary Statement:	Global Academy is proposing to construct a roughly 41’ x 20’ greenhouse (≈ 820’ sq ft) on the school campus to add to their educational offerings for students.
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Recommendations:	Per the analysis outlined in the report, staff is recommending APPROVAL of the request with conditions.
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Applicable Deadlines:	Based on an application date of 4/8/26, the 60-day review period for this application expires on 6/7/26.
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Community Impact:	No impacts identified, and all minor concerns can be addressed via conditions.
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Legislative History:	<p>2018: SUP approved to authorize Global Academy to take over the building/space previous occupied by the United Theological Seminary.</p> <p>2021: SUP Amendment approved to authorize the addition of a new gym to the school facility.</p> <p>2023: SUP Amendment approved to allow construction of a new storage garage on the northern edge of the property.</p> <p>2026: SUP Amendment proposed to add a new greenhouse feature to the school's offerings.</p>
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Strategic Priority:	<u>N/A</u>
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Fiscal Impact:	Financial Consideration?	<u>No</u>
	Revenue/Expenditure Amount:	\$
	Financing Source:	<u>N/A</u>
	Notes:	

Attachments:	1.	Staff Report
	2.	Engineering Memo
	3.	Draft Resolution
	4.	Mailing Map
	5.	Zoning Map
	6.	Greenhouse Civil Plans
	7.	Greenhouse Plans

	8.	Easement Vacation
	9.	Greenhouse Narrative
	10.	CUP Worksheet

To: **Planning Commission**

From: Ben Gozola, Assistant Director DCAD

Meeting Date: **5-19-26**

Applicants: **Global Academy**

Main Contacts: Nate Dingels, Civil Site Group

Location: 3000 5th St NW

Zoning: **RS-1 (Single Family Low Density Residential District)**

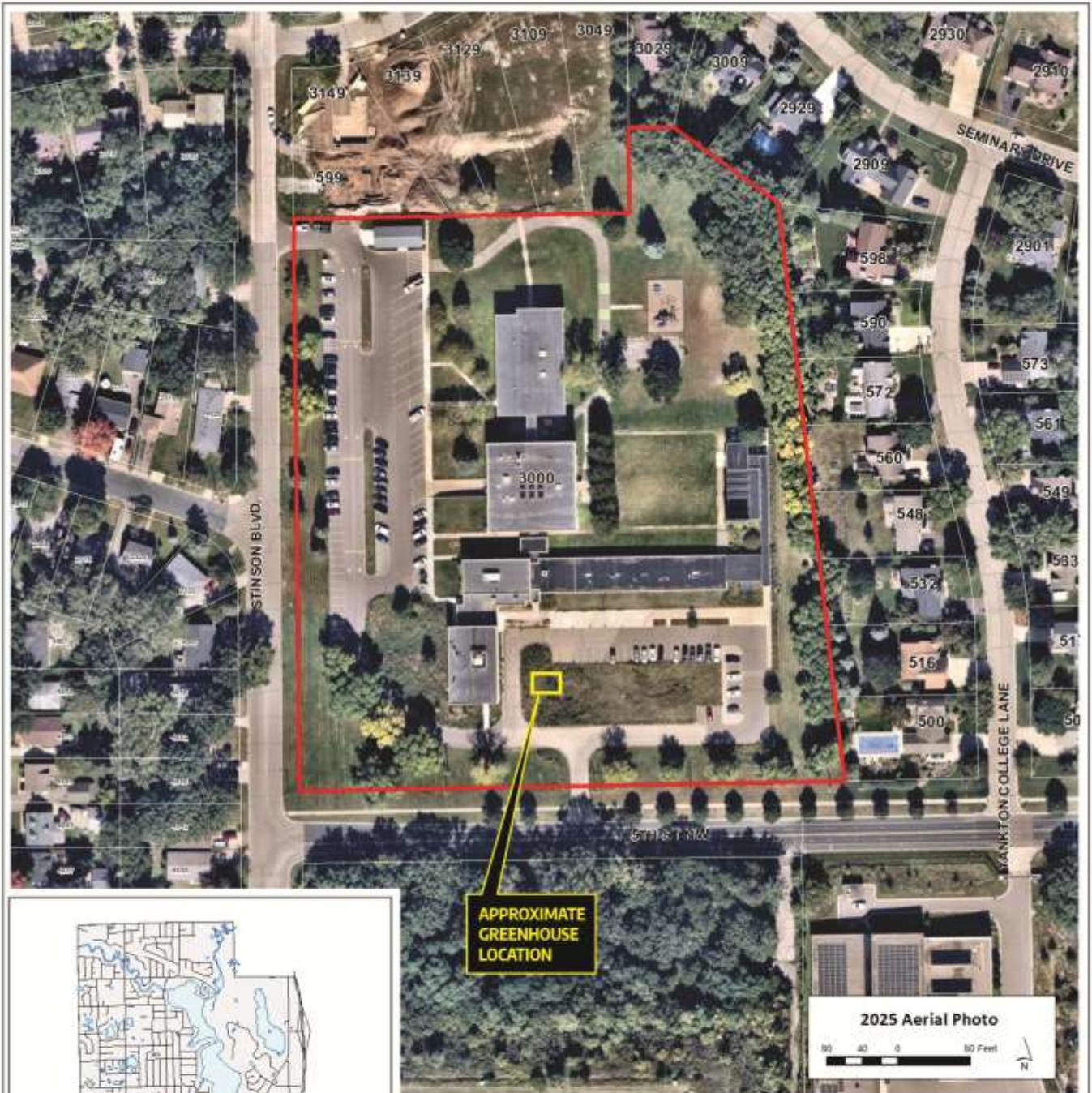
Introductory Information

Project: ▪ Global Academy is proposing to construct a roughly 41' x 20' greenhouse (≈ 820' sq ft) on the school campus to add to their educational offerings for students.

History:

- 2018: SUP approved to authorize Global Academy to take over the building/space previous occupied by the United Theological Seminary. Approval resulted Global Academy taking control of the southern 2/3 of the property, and the Seminary retaining ownership of the residence building to the north. Storage rights within the existing garage on the Seminary property was rented to Global Academy.
- 2021: SUP Amendment approved to authorize the addition of a new gym to the school facility.
- 2022: United Theological Seminary sells the residence hall property to the north of the school, and the land is subsequently developed in 2024.
- 2023: SUP Amendment approved to allow construction of a new storage garage on the northern edge of the property.
- 2026: SUP Amendment proposed to add a new greenhouse feature to the school's offerings.
- Planning Commission review & public hearing scheduled for 5/19/26.

Request(s): ▪ **Conditional Use Permit amendment to authorize the addition of a greenhouse to the Global Academy facility at 3000 5th St NW**



Location within the City of New Brighton

SITE IDENTIFICATION MAP

3000 5th St. NW



General Findings

Site Data:	<ul style="list-style-type: none"> ▪ Existing Lot Size ≈ 8.765 acres (381,789 sq ft) ▪ Existing Use – School ▪ Existing Zoning – R-1 ▪ Property Identification Number (PID): 30-30-23-23-0044
Comp Plan Guidance:	<ul style="list-style-type: none"> ▪ The 2030 Comprehensive Plan guides this property for Public/Quasi-Public use (P-QP). The proposed school conditional use under the RS-1 zoning classification is therefore appropriate.
Notable Code Definitions:	<ul style="list-style-type: none"> ▪ SCHOOL, PRE-K-12. <i>A public or private school offering general, technical, or alternative instruction at the elementary, middle, or high school level that operates in buildings or structures on land leased or owned by the educational institution for administrative purposes. Such uses include classrooms, vocational training (including that of an industrial nature for instructional purposes only in middle or high schools), laboratories, auditoriums, libraries, cafeterias, after school care, athletic facilities, dormitories, and other facilities that further the educational mission of the institution.</i> ▪ SETBACK LINE. <i>The minimum required distance prescribed by this ordinance between any property line, Ordinary High Water Level, or top of bluff; and the closest permissible point of an allowed improvement such as a foundation or any supporting post or pillar of a building or structure. Portions of a building, (e.g., an overhang, eave, entry stairs, bay windows, foundation planters, etc.) may encroach into a required yard as outlined in Table 3-5, Allowable Yard Encroachments.</i> ▪ BUILDING STORY. <i>That portion of the building included between the surface of any floor and the surface of the next floor above it or if there is no floor above it, the space between the floor and the ceiling next above it.</i>
Applicable Codes:	<ul style="list-style-type: none"> ▪ Chapter 3, Section 3.4(C): <u>Single Family Low Density Residential District.</u> Outlines general lot requirements for the RS-1 zoning district. ▪ Table 5-1: Principal Uses Table that lists all permitted uses within each of the City’s zoning districts. ▪ Chapter 5, Section 5.4: Accessory Use Standards. Outlines standards for accessory buildings within the city. ▪ Chapter 5, Section 5.3(B)(10): <u>Specific Requirements for Schools.</u> Outlines specific criteria that must be met by schools.

Existing & Proposed Setbacks:

R-1 (accessory bldgs.)	Required	Greenhouse Setbacks
Front (5 th Street)	30	≈ 103'
Side (Stinson Blvd)	30	≈ 258'
Side (east)	5	≈ 298'
Rear (north)	5	≈ 520'

- The proposed greenhouse will meet all required setbacks for an accessory structure.

Bldg Coverage / Hardcover Analysis:

- Neither building coverage nor impervious surfaces are an issue with this proposed project.

Applicant's Narrative [sic]:

- Global Academy is requesting permission to build a 20' x 40' greenhouse on its campus. The greenhouse will be used by students and staff for educational purposes. We anticipate multiple benefits for students and staff to enrich learning from this proposed greenhouse.
 Global Academy will fund the project through a grant, which was awarded from the Mortenson Company.
 We have been working with Civil Site Group to engineer a site on campus that assures safety to the students. Civil Site is also making sure the greenhouse will meet all watershed requirements as well as runoff requirements as per Rice Creek Watershed and the City of New Brighton.
 Global Academy is working in conjunction with Wisconsin Greenhouse Company who design the greenhouse as well as construct it.
 The timing of the project is dependent on City approval, but our goal is to start construction immediately.
 We are very excited for all the ways this greenhouse will benefit the education here at Global Academy. Please contact me directly with any questions. Thank you.

Site Review

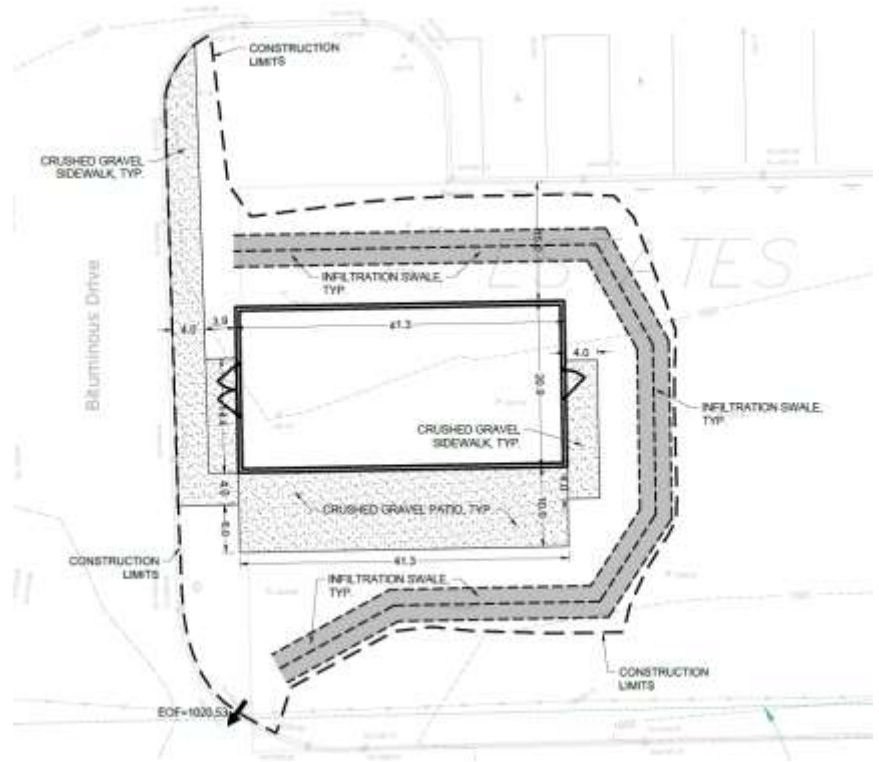
In General:

- Per Zoning Code Section 2.4(G), new building construction (other than double and single family residences) shall be referred to the City Council for review. Review of this CUP amendment will address this requirement, and the following is an overview of important findings in relation to code requirements.

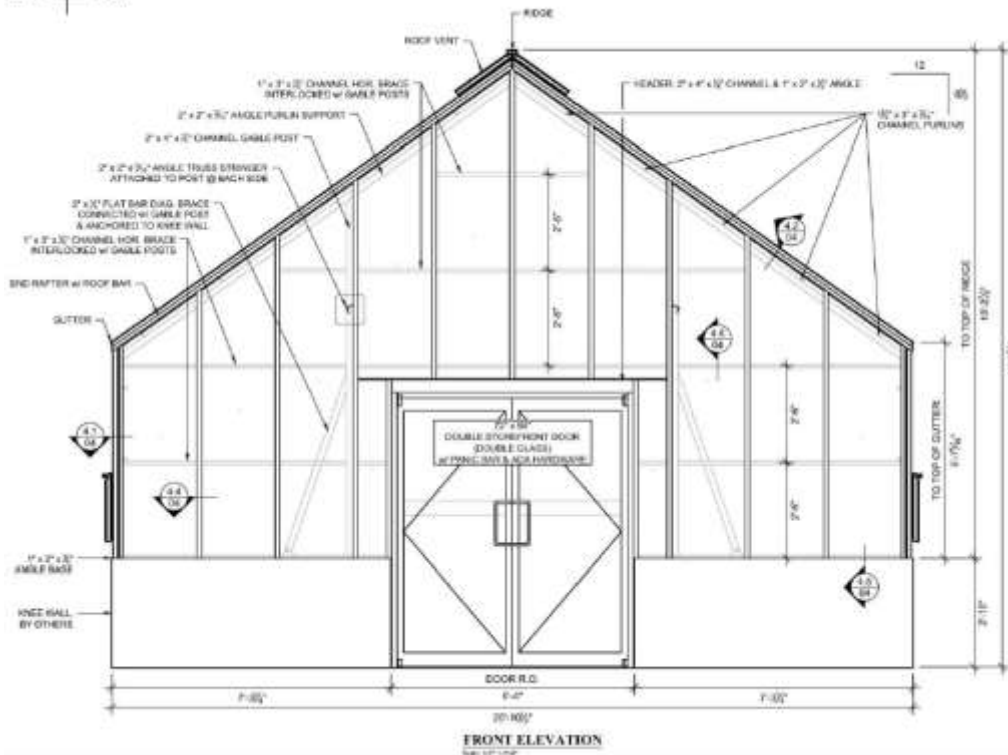
Proposed New Greenhouse:

- The proposed new detached greenhouse is an allowable addition to an educational campus like Global Academy, and there is no issue with the proposed size of 41' x 20'.

Footprint



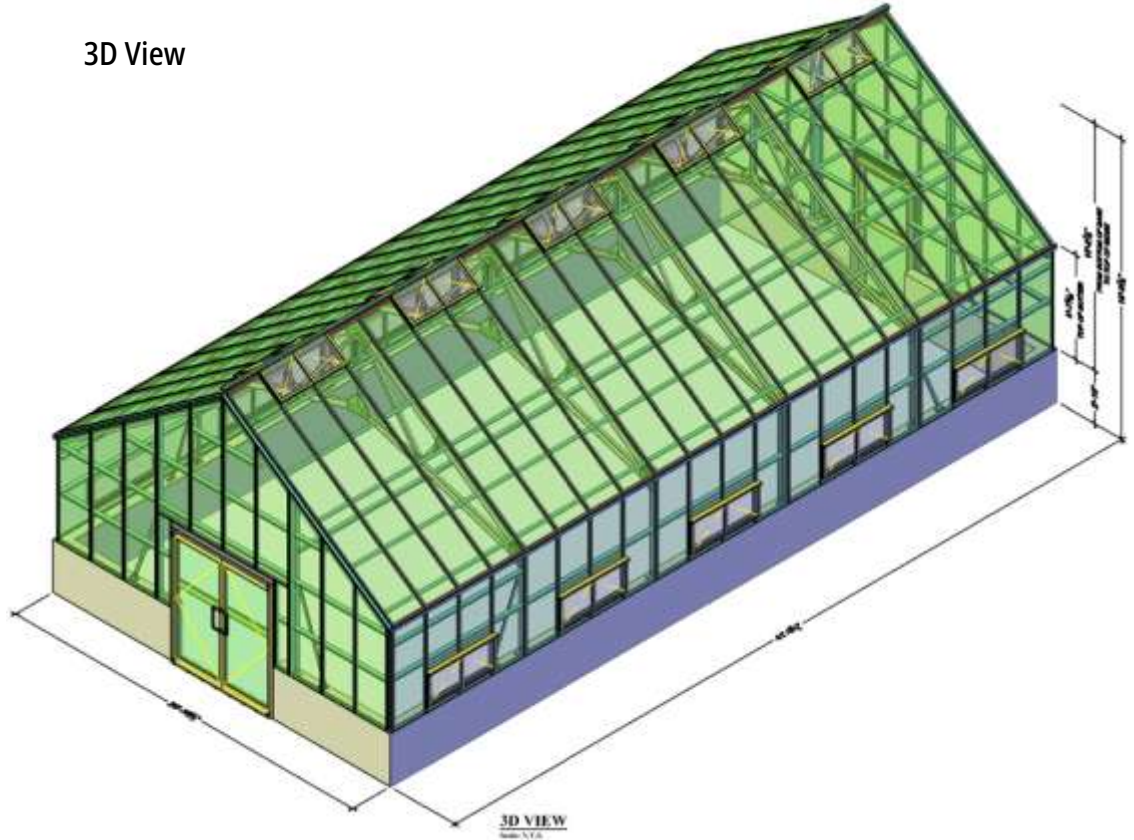
LEFT — RIGHT



Front Elevation

(cont.)

3D View



Building Materials:

- By code, accessory structures must match or be complementary to the existing primary structure on the site.
- While not currently specified, the exterior materials on the knee wall around the structure must be compliant with code standards. This will be confirmed at the time of building permit.
- The glass walls necessary for a greenhouse will be acceptable under code.

Building Height:

- There will be no height issues with this proposed greenhouse as it will only be 16' tall from the ground to the top point of the ridge. This is far short of the 2.5 story or 30' maximum.

Lot Access:

- Access points to the site will not change.

Landscaping:

- No new landscaping for this structure is mandated by code.
- The existing gross floor area of the school is approximately 66,575 sq ft in size. Mandatory landscaping is triggered once additions in excess of 15% over time are proposed and approved.
 - 15% of 66, 575 is 9,986 square feet. Once additions exceed this square footage, requirements of Section 4.1 will apply

Project	Square Footage	Cumulative Additions
<i>Gym Addition</i>	6,772	6,772 sq ft
<i>Storage Garage</i>	1,000	7,772 sq ft
<i>Greenhouse</i>	820	8,592 sq ft

- Given Global Academy projects to date, the school can add 1,394 more square feet to the structures on this campus before new/additional landscaping requirements are triggered.

Lot Access:

- Access points to the site will not change.

Water System(s):

- No water supply issues were identified for the new greenhouse.
- Specific plans for utility service extensions to the greenhouse are still a work in progress. As a condition of approval, all utility extensions must be approved by engineering prior to a building permit being approved for the greenhouse.

Sanitary System(s):

- Sanitary sewer will not be extended to the greenhouse. Bathroom facilities within the existing school will service this accessory structure.

Storm water / Grading / Erosion:

- There will be minimal grading around the proposed greenhouse location.
- An RCWD Notice of Intent form along with final plans shall be submitted to the RCWD prior to beginning construction.

Fire/Safety:

- The only concern noted by public safety was the need to preserve existing widths of all parking lot drive aisles to ensure fire trucks can make turns.
- The proposed plan will not impact existing drive aisle widths.

- Lighting:** | The proposed greenhouse will not include any interior or exterior lighting, so lighting is not an issue.
- Signage** | Any proposed signage would need to be permitted through the City’s separate sign permit review process.
- Parking & Traffic:** | There are no traffic concerns with this project. The proposed greenhouse will not generate new trips to the property.
- Sidewalks & Trails:** | No issues with public sidewalks or trails.
- Development Phasing:** | The greenhouse would be constructed in a single phase.

Conditional Use Permit Review:

- In General:** | A conditional use permit was issued for this school in 2018. Adding on to the facility, therefore, requires a CUP amendment.

Criteria Review: Issuance of a CUP amendment requires an analysis of the proposed use against the following specific review criteria established in code.

- 1. The conditional use will not be detrimental to the health, safety, morals, or welfare of persons residing or working near the use.**

APPLICANT COMMENTS: Our main concern is the safety of the students at Global Academy. The proposed location of the greenhouse requires students to cross a small section of parking lot. To assure safety we propose a crosswalk to be painted indicating to any traffic in the lot that this is an area students will be crossing. We will also provide visual metal signage facing south and another sign facing east so that vehicles approaching are aware of the crosswalk. All students will be accompanied by a staff member that will survey the area for any dangerous situations. Students would exit the building out door number 1 and travel down the walking ramp to the west. This location allows people using the crosswalk visibility should vehicles travel from either directions. At the bottom of this ramp the crosswalk would be indicated to cross the walk – approximately 30 feet. A walking path will then lead them safely to the greenhouse. Please see image below of proposed discussed crosswalk.

We do not foresee any other safety or health concerns with the proposed location.

(cont.)

Staff Analysis: As proposed, staff agrees that the greenhouse addition will not be detrimental to those residing or working near the school. From a safety perspective for the students, staff is recommending the following conditions for this CUP:

- a) Plans shall be updated to show ADA compliant access to the new greenhouse.
- b) Use of the greenhouse for official class purposes shall not occur during times of concentrated pick up and drop off at the beginning and end of the school day.
- c) The painted crosswalk, as proposed, shall be installed prior to the greenhouse opening for use.

Criterion met with conditions.

2. ***The conditional use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.***

APPLICANT COMMENTS: *The proposed location will not be injurious to any of the nearby properties. The location provides a visual improvement to the prairie area of the school, which currently looks vacant and unkept. We do not see that the greenhouse will impair property values.*

Staff Analysis: Staff agrees with the applicant that this improvement will be a net positive for the looks and appearance at this entrance to the school. As the structure will not include lighting, we have no concerns about potential impacts to surrounding lands. **Criterion met.**

3. ***The conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.***

APPLICANT COMMENTS: *The proposed location of the greenhouse meets all the setback requirements of the City of New Brighton. We see nothing that would impede.*

Staff Analysis: The proposed addition of a greenhouse to this site should have no impact on the use of nearby properties. **Criterion met.**

- (cont.) 4. ***The conditional use will not pose an undue burden on public utilities or roads, and adequate sanitary facilities are provided.***

APPLICANT COMMENTS: *Our civil engineering team – Civil Site Group – has had all utilities marked regarding the proposed location. There are no public utilities that would interfere with the proposed location of the greenhouse. Please see attached Civil Site plan.*

Staff Analysis: Per engineering and public safety, there is no concern about public infrastructure being burdened by this proposed addition. **Criterion met.**

5. ***The conditional use can provide adequate parking and loading spaces, and all storage on the site can be done in conformance with City code requirements.***

APPLICANT COMMENTS: *Construction of the greenhouse will not commence until after the school year is over for teachers and staff. Since there are no summer programs at Global Academy the parking lots have very few cars and plenty of space for loading and unloading in accordance with code.*

Staff Analysis: The greenhouse will not drive further parking needs, so parking will not be an issue. **Criterion met.**

6. ***The conditional use will not unnecessarily impact natural features such as woodlands, wetlands, and shorelines; and all erosion will be properly controlled.***

APPLICANT COMMENTS: *We refer to our civil engineering team on this who have been working with the city of New Brighton as well as the Rice Creek Watershed. They have also run numbers on the runoff from the parking lot. Upon conclusion of this study all parties see no damaging impacts that the greenhouse would create. I will refer to the attached study from Civil Site.*

Staff Analysis: Staff concurs that documentation provided shows this area can accommodate the greenhouse while still addressing all stormwater needs. Provided the applicant acquires an RCWD permit for the work by meeting all requirements, this **criterion will be met.**

7. ***The conditional use will adhere to any applicable additional criteria outlined in Chapter 5 for the proposed use.***

APPLICANT COMMENTS: *I will refer to the city of New Brighton Zoning Code – Section 5.3 – 10a. The proposed greenhouse conforms to this by being over 30 feet from any residential boundary.*

Regarding Section 5.3 – 10b and c – these are not applicable to our situation as the greenhouse will not impede parent pickup and our busing occurs on the other side of campus away from the proposed location.

(cont.)

Staff Analysis: Please see all sub criteria below.

(a) Principal structures shall not be located less than 30 feet from any boundary line used or intended to be used for residential purposes.

Staff Analysis: **Criterion met.**

(b) Site design shall accommodate adequate space for parent pick-up/drop off queuing. If on-street queuing cannot be avoided, the school shall be responsible for modifications to the street design (if required by the Department of Community Assets & Development) to protect traffic flow on the affected road.

Staff Analysis: Pick up and drop off at this site has not triggered any complaints this year, so no changes or updates are recommended at this time. That said, the school should avoid student use of the greenhouse during or near pick up or drop off times to minimize potential interaction between students and vehicles. **Criterion met with conditions.**

(c) A bus plan shall be prepared to show how bussing will be accommodated, and how students will safely access their bus.

Staff Analysis: No bussing changes will be needed as a result of this minor addition to the school. **Criterion met.**

(d) K – 12 Schools in mixed use districts must have a regional orientation and be part of a mixed-use development.

Staff Analysis: **Criterion met.**

Supplementary Review & Public Comment

Additional Information:

- None

Engineering Review:

- An engineering memo dated 5-12-26 is attached to this report. All noted issues must be addressed by the applicant as a condition of approval. In summary:
 - *ADA compliant access is needed to the greenhouse facility;*
 - *Lighting details, if proposed, must be submitted for review and approval;*
 - *Utility connections must be shown and approved prior to building permit issuance; and*
 - *Compliance with stormwater standards must be show.*

Public Safety Review: | ▪ No public safety concerns.

Public Comment: | ▪ There were no comments received for or against this proposal as of 5/12/26.

Planning Commission Review: | ▪ The Planning Commission will hold a public hearing on this request at their meeting on 5/19/26.

Conclusion:

Global Academy is proposing to construct a roughly 41’ x 20’ greenhouse (≈ 820’ sq ft) on the school campus to add to their educational offerings for students.

Staff Recommendation: Per the analysis outlined in the report, staff is recommending **APPROVAL** of the request with conditions.

Commission Options:

The Planning Commission has the following options:

- A) RECOMMEND APPROVAL OF THE REQUEST based on the applicant’s submittals and findings of fact.
- B) RECOMMEND DENIAL OF THE REQUEST based on the applicant’s submittals and findings of fact.
- C) TABLE THE ITEM and request additional information.

Based on an application date of 4/8/26, the 60-day review period for this application expires on 6/7/26.

Template Denial Motion:
(not recommended)

- “I move that we recommend the City Council deny the requested conditional use permit based on the following findings of fact:”
 - *(provide findings to support your conclusion)*

Template Approval Motion:
RECOMMENDED

- “I move we recommend the City Council approve the requested conditional use permit to authorize the addition of a greenhouse facility to the Global Academy school based on the findings of fact and conditions listed on page 13 of the report as may have been amended here tonight.”

***Suggested Findings
of Fact:***

1. The subject property is guided for single family residential by the comprehensive plan, and both churches and school uses are conditionally permitted within the RS-1 zoning district.
2. The addition of a small greenhouse to complement the existing school facilities will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare provided all conditions are followed.
3. The existing site plan can accommodate the greenhouse use without impacting surrounding lands.
4. The addition of a greenhouse to the property will have no negative impacts on public infrastructure or services in this area.
5. The greenhouse will not have a detrimental impact on area property values provided all conditions are followed.
6. The subject site is adequately served by public utilities, roads, and drainage facilities to accommodate the proposed use.
7. The conditional use will be in conformance with all underlying zoning district requirements.

***Recommended
Conditions:***

1. All issues outlined in the Engineering Memo dated 5-12-26 shall be successfully addressed.
2. Exterior materials on the knee wall surrounding the greenhouse must be compliant with code standards (must match or be complementary to the existing primary structure on the site).
3. All utility extensions must be approved by engineering prior to a building permit being approved for construction of the greenhouse.
4. An RCWD Notice of Intent form along with final plans shall be submitted to the RCWD prior to beginning construction.
5. Official school use of the greenhouse facility by classes should avoid conflicts with primary drop-off and pick-up times to minimize potential interaction between students and vehicles

cc: Nate Dingles (primary contact)



interoffice

MEMORANDUM

to: Ben Gozola, Assistant Director of Community Assets and Development
from: Dustin Lind, Engineering Supervisor
subject: Global Academy Greenhouse
date: May 12, 2026

The Engineering Department has reviewed the site plan for proposed greenhouse installation at Global Academy and we offer the following comments:

General – Site Improvements

1. The current plans propose a crushed gravel walkway along the back of curb within the parking lot island leading to the greenhouse entrance. This access walkway must be ADA compliant; therefore, it is recommended that it is constructed of concrete and include a curb cut meeting ADA requirements where it connects to the parking lot. Plans to also identify a crosswalk location between the greenhouse access walkway and the main building.

Lighting

1. Interior and exterior lighting details shall be included in the plans.

Water Service

2. The current plans do not indicate the source of water supply for the proposed greenhouse. If a separate irrigation service is extended to the greenhouse, it must be metered, and an outside sewer and water permit will be required. All connections shall be inspected by New Brighton Public Works.

Storm Sewer

1. The proposed greenhouse location lies within an existing infiltration basin. The Owner/Engineer shall provide documentation demonstrating that the plans have been reviewed and approved by the Rice Creek Watershed District (RCWD), and that any compensatory stormwater requirements resulting from impacts to the basin have been addressed and approved by the RCWD.

2. The Owner/Engineer shall provide documentation confirming that the ponding and flowage easement has been vacated in the area where the greenhouse is proposed.
3. The current plans include installation of an infiltration trench around the perimeter of the greenhouse. A detail for the trench shall be provided in the plans, including construction materials and soil specifications.

**RESOLUTION
CITY COUNCIL
CITY OF NEW BRIGHTON**

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT AMENDMENT
TO AUTHORIZE THE ADDITION OF A GREENHOUSE TO GLOBAL ACADEMY
AT 3000 5TH STREET NW**

WHEREAS, the City of New Brighton is a municipal corporation, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of the New Brighton has adopted a comprehensive plan and corresponding zoning regulations to promote orderly development and utilization of land within the city; and,

WHEREAS, Global Academy (the “Applicant”) is seeking a conditional use permit amendment to allow the addition of a greenhouse feature to the school at 3000 5th Street NW (the “Property”) which has the PID number 30-30-23-23-0044 and is legally described as:

Lot 2, Block 1, Seminary Estates 2nd Addition.

WHEREAS, staff fully reviewed the request and prepared a report for consideration by the Planning Commission at their meeting on May 19, 2026; and

WHEREAS, the Planning Commission held a public hearing on the request at the May 19, 2026, meeting and considered input from residents; and recommended conditional approval of the request based on the applicant’s submittals and findings of fact; and

WHEREAS, the City Council considered on May 26, 2026, the recommendations of the Planning Commission, Staff, the Applicant's submissions, the contents of the staff report, and other evidence available to the Council.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of New Brighton hereby approves the requested conditional use permit amendment based on the following findings of fact:

1. The subject property is guided for single family residential by the comprehensive plan, and both churches and school uses are conditionally permitted within the RS-1 zoning district.
2. The addition of a small greenhouse to complement the existing school facilities will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare provided all conditions are followed.

3. The existing site plan can accommodate the greenhouse use without impacting surrounding lands.
4. The addition of a greenhouse to the property will have no negative impacts on public infrastructure or services in this area.
5. The greenhouse will not have a detrimental impact on area property values provided all conditions are followed.
6. The subject site is adequately served by public utilities, roads, and drainage facilities to accommodate the proposed use.
7. The conditional use will be in conformance with all underlying zoning district requirements.

BE IT FURTHER RESOLVED, that approval of the conditional use permit amendment shall be subject to the following conditions:

1. All issues outlined in the Engineering Memo dated 5-12-26 shall be successfully addressed.
2. Exterior materials on the knee wall surrounding the greenhouse must be compliant with code standards (must match or be complementary to the existing primary structure on the site).
3. All utility extensions must be approved by engineering prior to a building permit being approved for construction of the greenhouse.
4. An RCWD Notice of Intent form along with final plans shall be submitted to the RCWD prior to beginning construction.
5. Official school use of the greenhouse facility by classes should avoid conflicts with primary drop-off and pick-up times to minimize potential interaction between students and vehicles.

ADOPTED this 26th day of May, 2026, by the New Brighton City Council with a vote of __ ayes and __ nays.

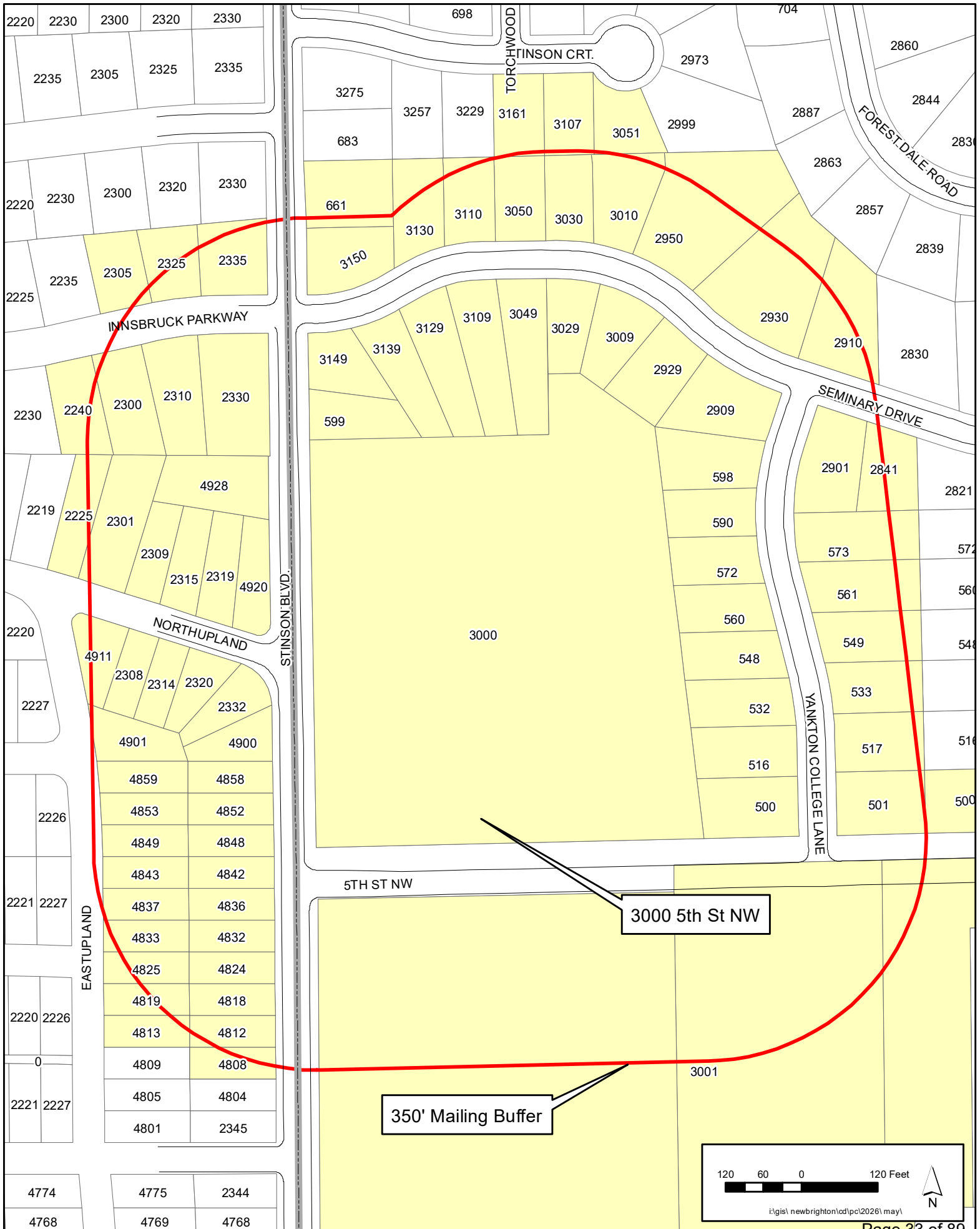
Kari Niedfeldt-Thomas, Mayor

Devin Massopust, City Manager

ATTEST:

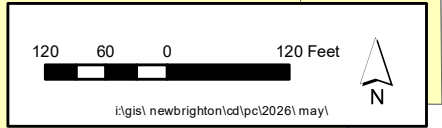
Terri Spangrud, City Clerk

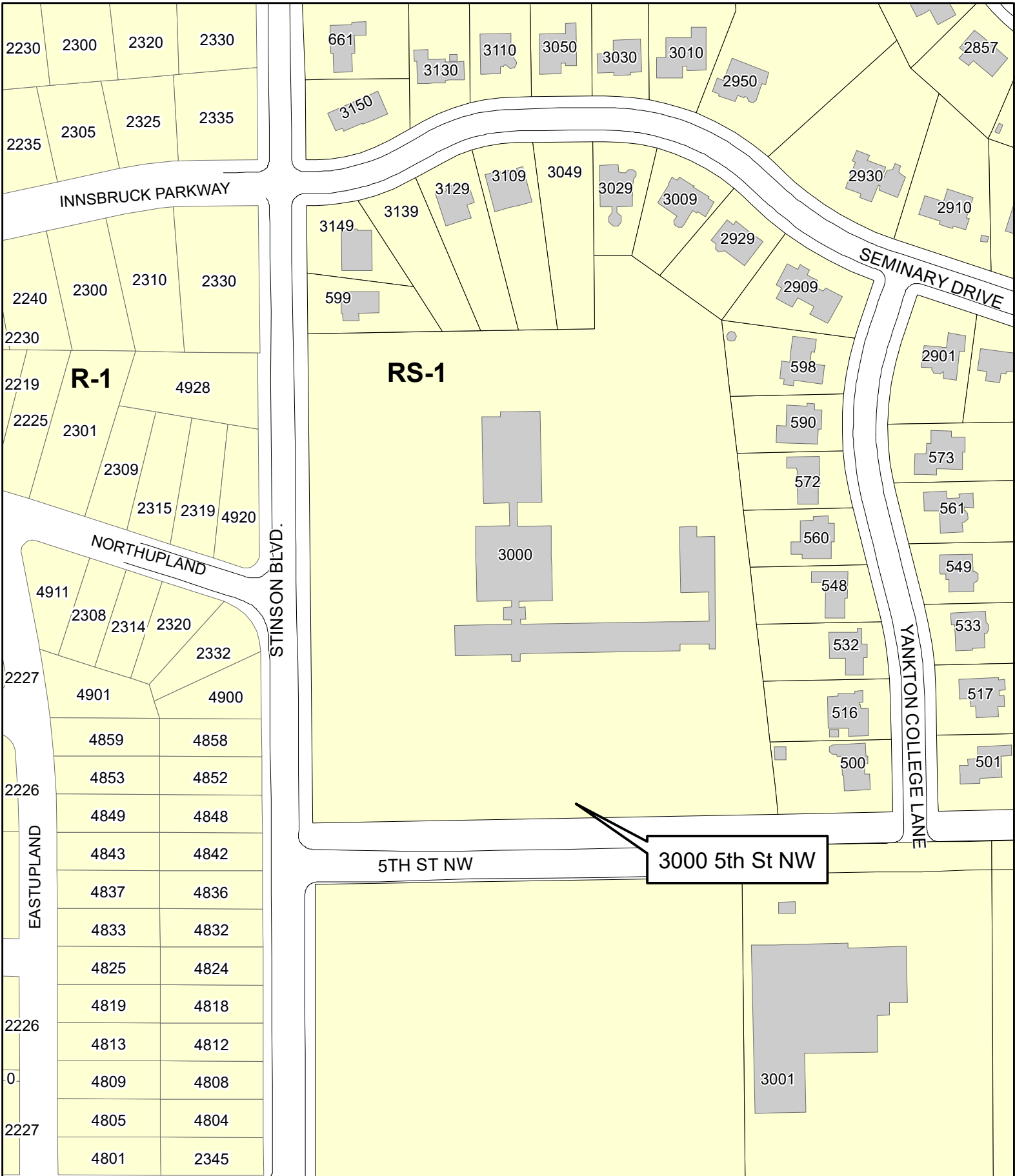
3000 5th St. NW - 350' Mailing List



3000 5th St NW

350' Mailing Buffer





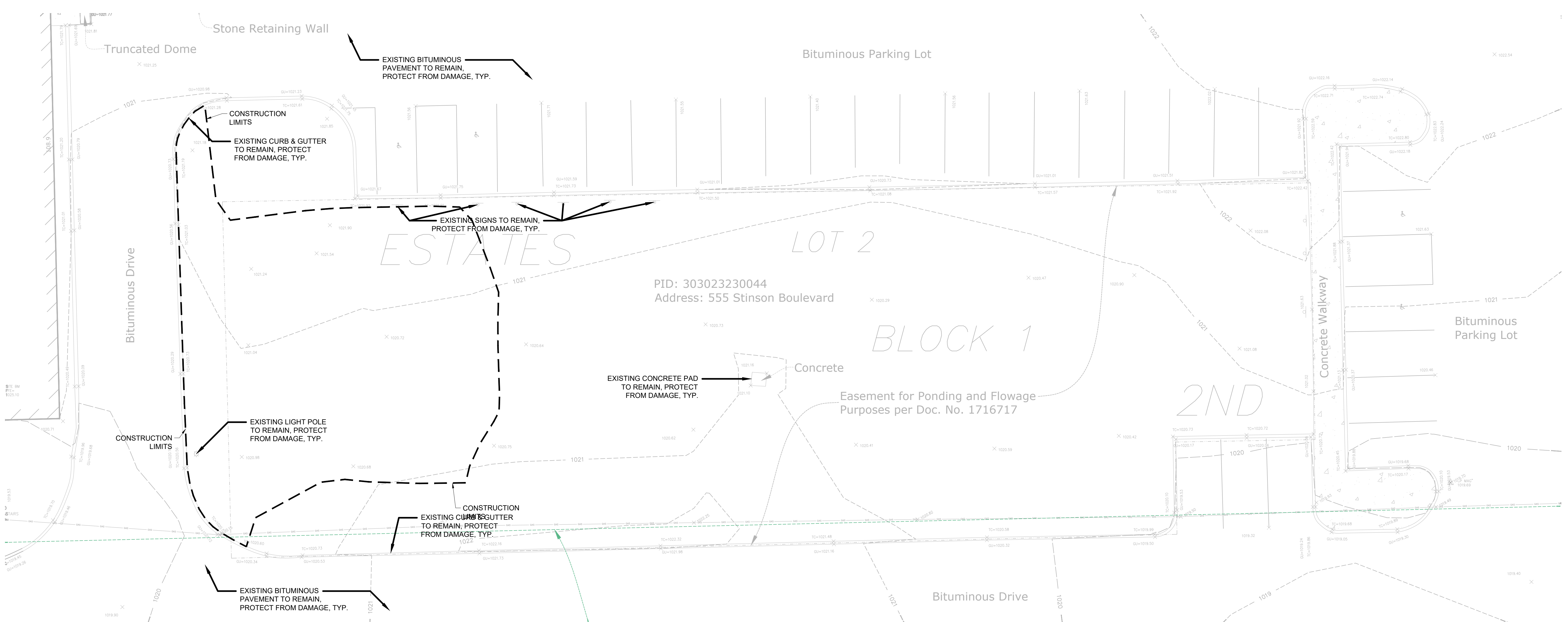
3000 5th St NW

Current Zoning

3000 5th St. NW
RS-1, Single Family Low Density

RS-1, Single Family Low Density





PID: 303023230044
Address: 555 Stinson Boulevard

REMOVAL NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
- ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

OWNER INFORMATION

GLOBAL ACADEMY
3000 5TH STREET NW
NEW BRIGHTON, MN 55112
BRANDON KROSCH
763-245-0777
BRANDON.KROSCH@GLOBALACADEMY.US

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0 - SW1.3

CITY OF NEW BRIGHTON REMOVAL NOTES:

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

REMOVALS PLAN LEGEND:

- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PAVTS.
- MILL PAVEMENT, SEE PLAN NOTES FOR DEPTH
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVAL OF TREES AND VEGETATION INCLUDING STUMPS AND ROOT SYSTEMS
- CONSTRUCTION LIMITS
- PROPERTY LINE
- REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS

PROJECT
GLOBAL ACADEMY GREENHOUSE

555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112

OWNER
GLOBAL ACADEMY
3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
DATE 04/08/2026 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
04/08/2026	PERMIT SET

PROJECT MANAGER	PATRICK SARVER
CONTRACT NUMBER	6123151056 X 702
DRAWN BY	KE RD
REVIEWED BY	PS
PROJECT NUMBER	18517.05

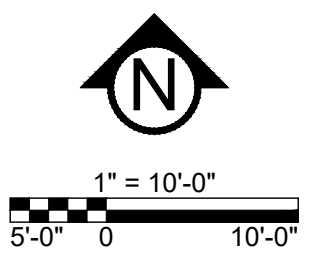
REVISION SUMMARY

DATE	DESCRIPTION

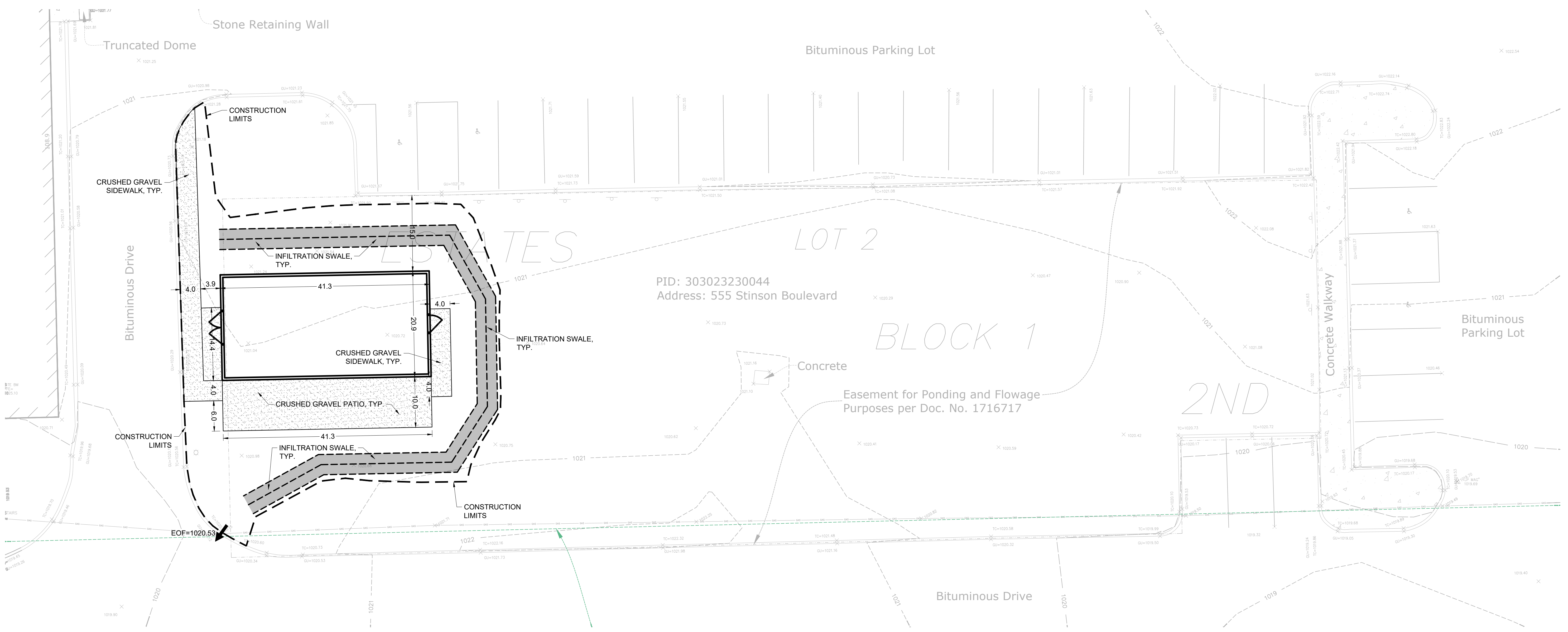
REMOVALS PLAN



Know what's below.
Call before you dig.

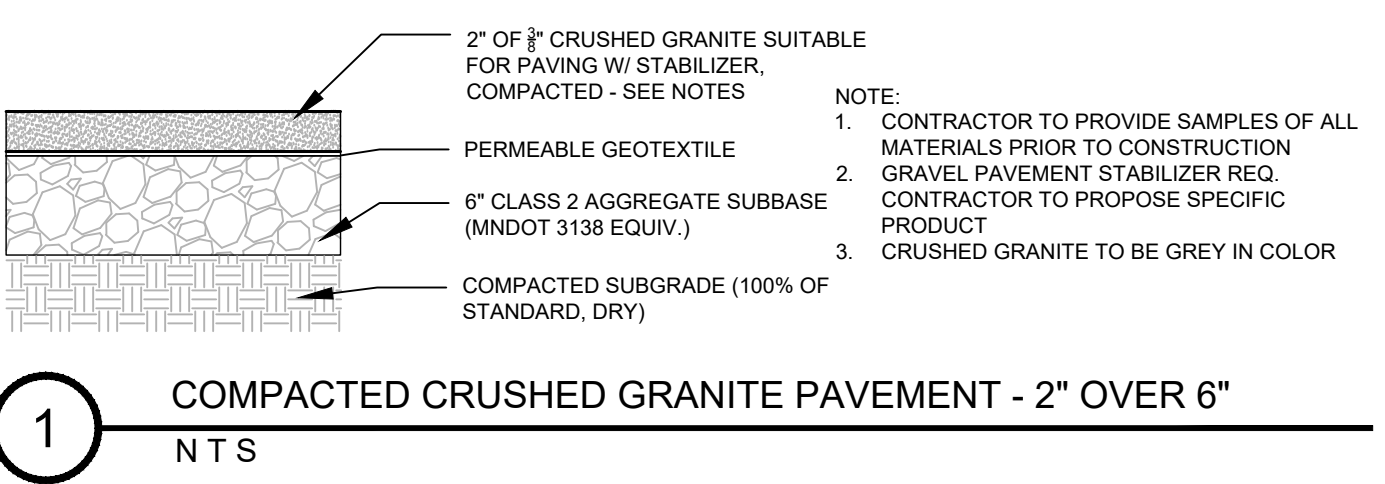


C1.0



SITE LAYOUT NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE TO INSTALL ANY SIDEWALK AND CURBING PER DESIGN PLAN. CONTRACTOR TO VERIFY ALL CURBS AND SIDEWALKS WILL DRAIN PROPERLY IN FIELD CONDITIONS. CONTRACTOR MUST CONTACT THE CIVIL ENGINEER 24-HOURS PRIOR TO ANY CURB AND/OR SIDEWALK INSTALLATION TO REVIEW AND INSPECT CURB STAKES. CONTRACTOR IS RESPONSIBLE FOR ANY CURB OR SIDEWALK REPLACEMENT IF THIS PROCEDURE IS NOT FOLLOWED.
- FINISH GRADING FOR HARDSCAPE AREAS IE. PARKING LOTS, CURBS, SIDEWALKS SHALL BE WITHIN 0.05 FEET. ADA AREAS MUST COMPLY WITH REQUIREMENTS ON PLANS AND ADA REGULATIONS. TOLERANCE WITHIN ADA AREAS IS 0.00 FEET DISCUSS ANY DEVIATIONS WITH ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY CURB, SIDEWALK AND/OR PAVEMENT REPLACEMENT THAT DOES NOT MEET TOLERANCE/ADA REQUIREMENTS.



CITY OF NEW BRIGHTON SITE SPECIFIC NOTES:

- RESERVED FOR CITY SPECIFIC SITE NOTES.

OWNER INFORMATION
GLOBAL ACADEMY
3000 5TH STREET NW
NEW BRIGHTON, MN 55112
BRANDON KROSCHE
763-245-0777
BRANDON.KROSCHE@GLOBALACADEMY.US

SITE PLAN LEGEND:

- CRUSHED GRAVEL (IF APPLICABLE). INCLUDE ALL BASE MATERIAL AND APPURTENANCES AS SPECIFIED PER MANUFACTURER SPECIFICATIONS & INSTRUCTIONS. PROVIDE SAMPLES, SHOP DRAWINGS & PRODUCT DATA REQUIRED PRIOR TO CONSTRUCTION.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- CURB TAPER
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.
HC = ACCESSIBLE SIGN
NP = NO PARKING FIRE LANE
ST = STOP
CP = COMPACT CAR PARKING ONLY

PROJECT
GLOBAL ACADEMY GREENHOUSE
555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112
OWNER
GLOBAL ACADEMY
3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

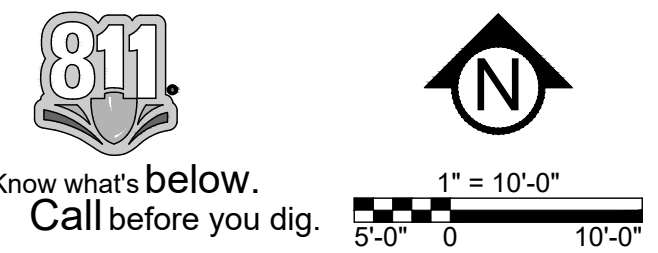
Matthew R. Pavsek
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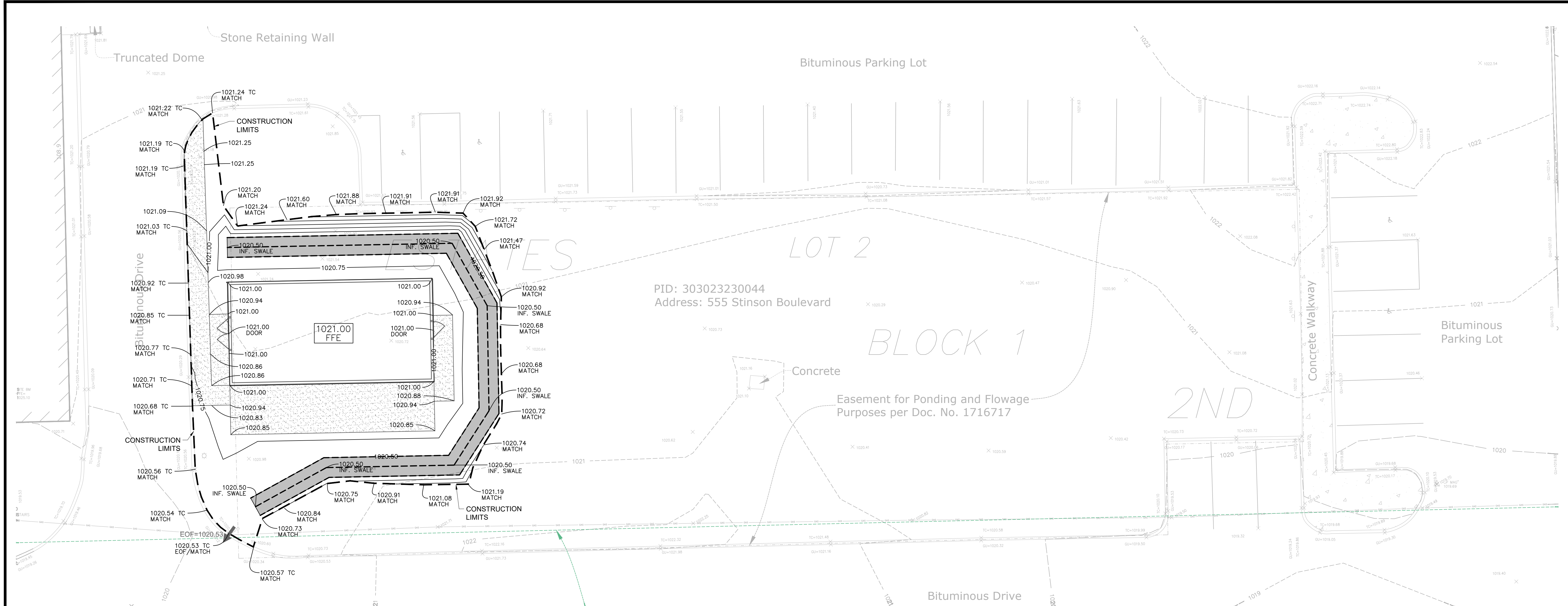
ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/08/2026	PERMIT SET

PROJECT MANAGER PATRICK SARVER
CONTACT NUMBER 612-615-0060 X 702
DRAWN BY KB, RD
REVIEWED BY PS
PROJECT NUMBER 18017.05

REVISION SUMMARY	
DATE	DESCRIPTION

SITE PLAN
C2.0
© COPYRIGHT 2026 CIVIL SITE GROUP, P.C.





GENERAL GRADING NOTES:

- CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS, (FFE, LFE, GFE), PRIOR TO CONSTRUCTION BY CROSS CHECKING WITH ARCHITECTURAL, STRUCTURAL AND CIVIL ELEVATIONS FOR EQUIVALENT "100" ELEVATIONS. THIS MUST BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF ANY FOOTING MATERIALS. VERIFICATION OF THIS COORDINATION SHALL BE CONFIRMED IN WRITING BY CIVIL, SURVEYOR, ARCHITECTURAL, STRUCTURAL AND CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR ACQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE.
- GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
- PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD

- TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS. TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.
 - AN OSHA-APPROVED QUALIFIED PERSON SHOULD REVIEW THE SOIL CLASSIFICATION PRESENTED IN THE GEOTECHNICAL REPORT IN THE FIELD. EXCAVATIONS MUST COMPLY WITH CURRENT OSHA REQUIREMENTS IN THE CODE OF FEDERAL REGULATIONS PERTAINING TO EXCAVATIONS AND TRENCHES. EXCAVATION SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - TOLERANCES
 - THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
 - FINISH GRADING FOR HARDSCAPE AREAS IE. PARKING LOTS, CURBS, SIDEWALKS SHALL BE WITHIN 0.05 FEET. ADA AREAS MUST COMPLY WITH REQUIREMENTS ON PLANS AND ADA REGULATIONS. TOLERANCE WITHIN ADA AREAS IS 0.00 FEET DISCUSS ANY DEVIATIONS WITH ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY CURB, SIDEWALK AND/OR PAVEMENT REPLACEMENT THAT DOES NOT MEET TOLERANCE/ADA REQUIREMENTS.
 - MAINTENANCE
 - THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
 - CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEDED AND MULCHED.
 - WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

EXISTING EARTHWORK VOLUME REPORT:

SURFACE TO DATUM VOLUME REPORT

Trimble
5475 Kellenburger Road
Dayton, Ohio 45424-1099, USA
1-937-233-9921

Project: R:\CSG\PROJECTS\2018\18017.05-GLOBAL ACADEMY GREEN HOUSE-NEW BRIGHTON\DESIGN\CAD\18.017.05_THMODEL.pro
Report Generated: Thursday, March 12, 2026 8:28:04 AM

Where the DTM surface is above the datum the volume is reported as fill.
Where the DTM surface is below the datum the volume is reported as excavation.

Shrinkage/swell factors:	Excavation	1.0000	Fill	1.2000
DTM Surface Layer Name	Number of Points	Datum Elevation		
CGTOPO-EXIST	867	1,022.00		
Volume limited to that within the constraining boundary - Object 8046				
Area within boundary: 3,576.93 Sq. Ft. (0.0821 Acres)				
Total triangulated area: 3,576.93 Sq. Ft. (0.0821 Acres)				
Excavation Volume Beneath Datum (Cu. Yd.)			Fill Volume Above Datum (Cu. Yd.)	
134.4			0.0	
Net Difference: 134.4 Cu. Yd. excess volume beneath datum				

PROPOSED EARTHWORK VOLUME REPORT:

SURFACE TO DATUM VOLUME REPORT

Trimble
5475 Kellenburger Road
Dayton, Ohio 45424-1099, USA
1-937-233-9921

Project: R:\CSG\PROJECTS\2018\18017.05-GLOBAL ACADEMY GREEN HOUSE-NEW BRIGHTON\DESIGN\CAD\18.017.05_THMODEL.pro
Report Generated: Thursday, March 12, 2026 8:29:08 AM

Where the DTM surface is above the datum the volume is reported as fill.
Where the DTM surface is below the datum the volume is reported as excavation.

Shrinkage/swell factors:	Excavation	1.0000	Fill	1.2000
DTM Surface Layer Name	Number of Points	Datum Elevation		
CGTOPO	99	1,022.00		
Volume limited to that within the constraining boundary - Object 8046				
Area within boundary: 3,576.93 Sq. Ft. (0.0821 Acres)				
Total triangulated area: 3,576.93 Sq. Ft. (0.0821 Acres)				
Excavation Volume Beneath Datum (Cu. Yd.)			Fill Volume Above Datum (Cu. Yd.)	
154.6			0.0	
Net Difference: 154.6 Cu. Yd. excess volume beneath datum				

EARTHWORK NOTES:

PER DISCUSSIONS WITH RICE CREEK WATERSHED AND THE CITY OF NEW BRIGHTON, THE PROJECT NEEDS TO MAINTAIN OR IMPROVE THE VOLUME PROVIDED WITHIN THE EXISTING PARKING ISLAND "INFILTRATION BASIN" AND IS NOT REQUIRED TO PROVIDE COMPLIANCE WITH FULL "RULE C." STORMWATER TREATMENT DESIGN REQUIREMENTS.

EARTHWORK CALCULATIONS ARE COMPLETED WITHIN THE DISTURBED LIMITS OF THE PROJECT AND THE VOLUME REPORTS ARE SHOWN TO THE LEFT OF THIS NOTE. A SURFACE TO DATUM REPORT WAS COMPLETED BETWEEN BOTH THE EXISTING GROUND SURFACE AND THE PROPOSED GROUND SURFACE COMPARED TO A 1022.00 DATUM ELEVATION. THE HIGHEST ELEVATION WITHIN THE DISTURBED LIMITS IN THE EXISTING AND PROPOSED CONDITION IS 1021.92. ENSURING THE VOLUMES ARE MODELED CONSISTENTLY AND INCORPORATE THE ENTIRE VOLUME WITHIN THE DISTURBED LIMITS.

THE FINDINGS IN THE REPORTS SHOW THAT THE PROPOSED VOLUME PROVIDED BELOW THE DATUM IS LARGER THAN THE EXISTING AND THE PROPOSED PROJECT WORK WILL NOT NEGATIVELY IMPACT THE DOWNSTREAM CONDITIONS.

CITY OF NEW BRIGHTON GRADING NOTES:

- RESERVED FOR CITY SPECIFIC GRADING NOTES.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0 - SW1.3

GRADING PLAN LEGEND:

- 1125 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 1137.25 --- 0.25' CONTOUR ELEVATION INTERVAL
- 41.26 --- SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
- 891.00 GU --- SPOT GRADE ELEVATION GUTTER
- 891.00 TC --- SPOT GRADE ELEVATION TOP OF CURB
- 891.00 MATCH --- SPOT GRADE ELEVATION MATCH EXISTING
- EOFF=1135.52 --- EMERGENCY OVERFLOW
- CONSTRUCTION LIMITS



Know what's Below.
Call before you dig.
1" = 10'-0"
5'-0" 0 10'-0"

GLOBAL ACADEMY GREENHOUSE
555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112
3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112

GLOBAL ACADEMY

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
DATE 04/08/2026 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
04/08/2026	PERMIT SET

PROJECT MANAGER: PATRICK SARVER
CONTRACT NUMBER: 221818056 X 702
DRAWN BY: KBE, ND
REVIEWED BY: PS
PROJECT NUMBER: 18017.05

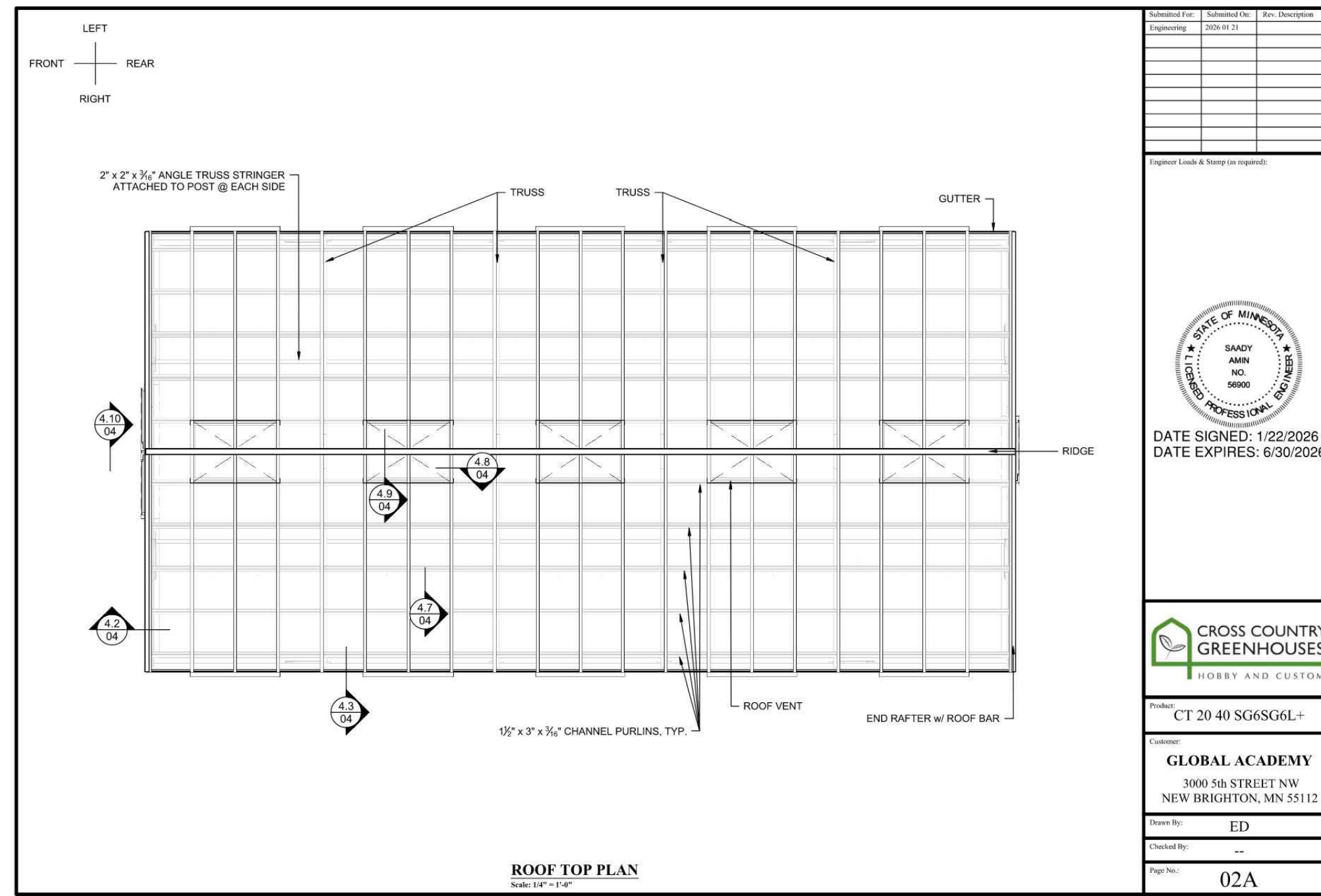
REVISION SUMMARY

DATE	DESCRIPTION
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GRADING PLAN

C3.0

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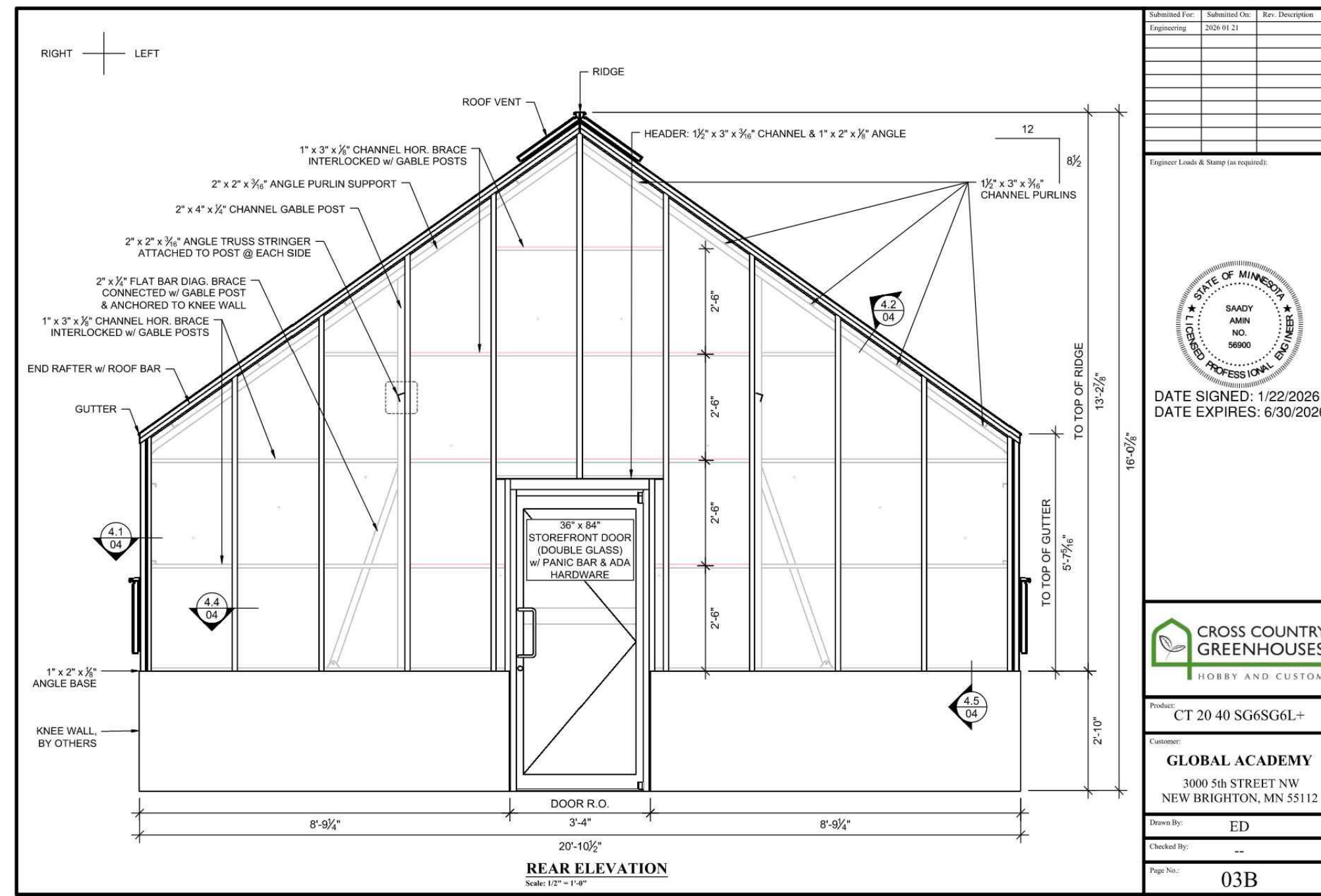


Professional Engineer Seal: SANDY ANN, NO. 96900, LICENSED PROFESSIONAL ENGINEER, STATE OF MINNESOTA.

DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026

CROSS COUNTRY GREENHOUSES
HOBBY AND CUSTOM

Project: CT 20 40 SG6SG6L+
Client: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112
Drawn By: ED
Checked By: --
Page No: 02A

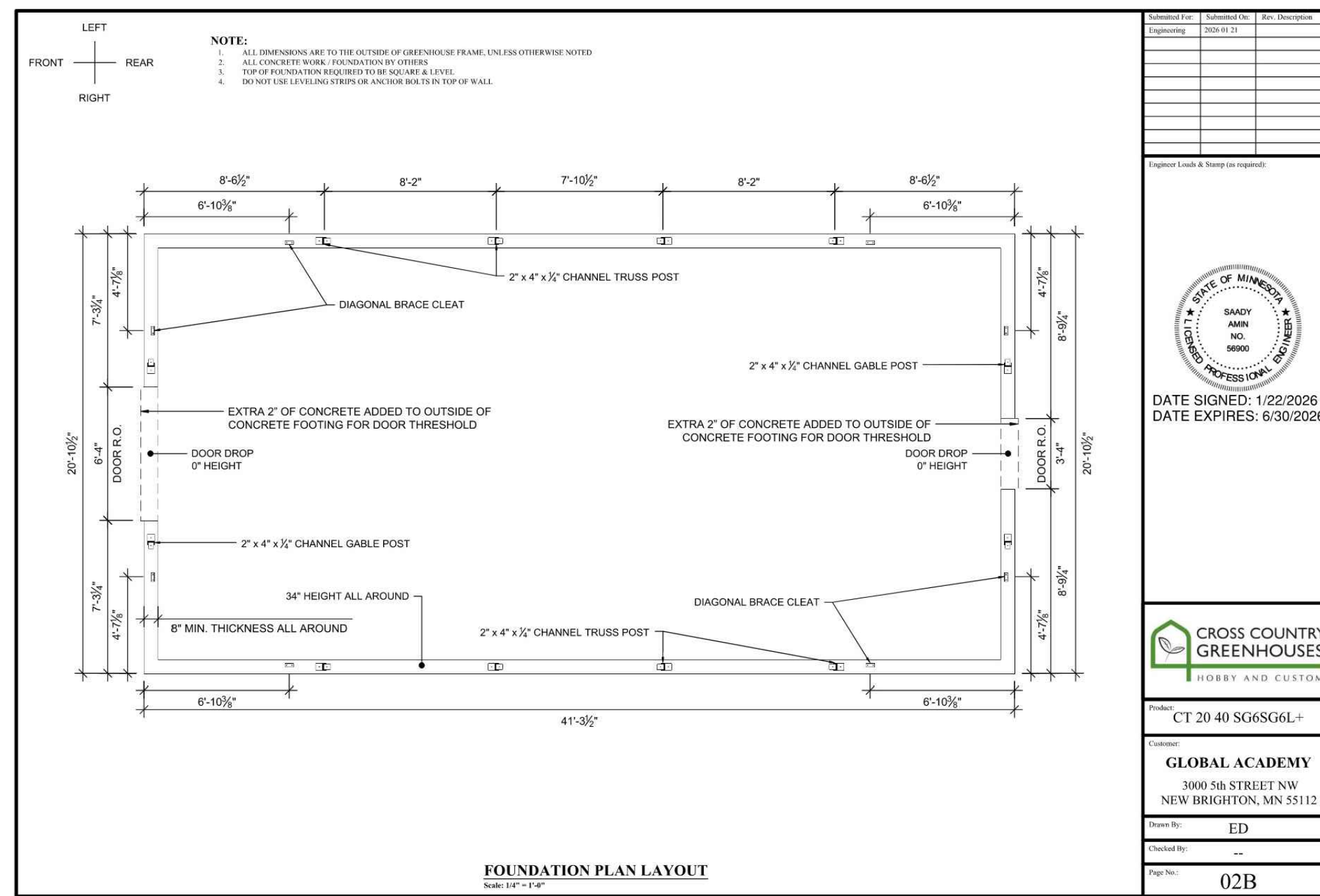


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DATE SIGNED: 1/22/2026
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CROSS COUNTRY GREENHOUSES
HOBBY AND CUSTOM

Project: CT 20 40 SG6SG6L+
Client: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112
Drawn By: ED
Checked By: --
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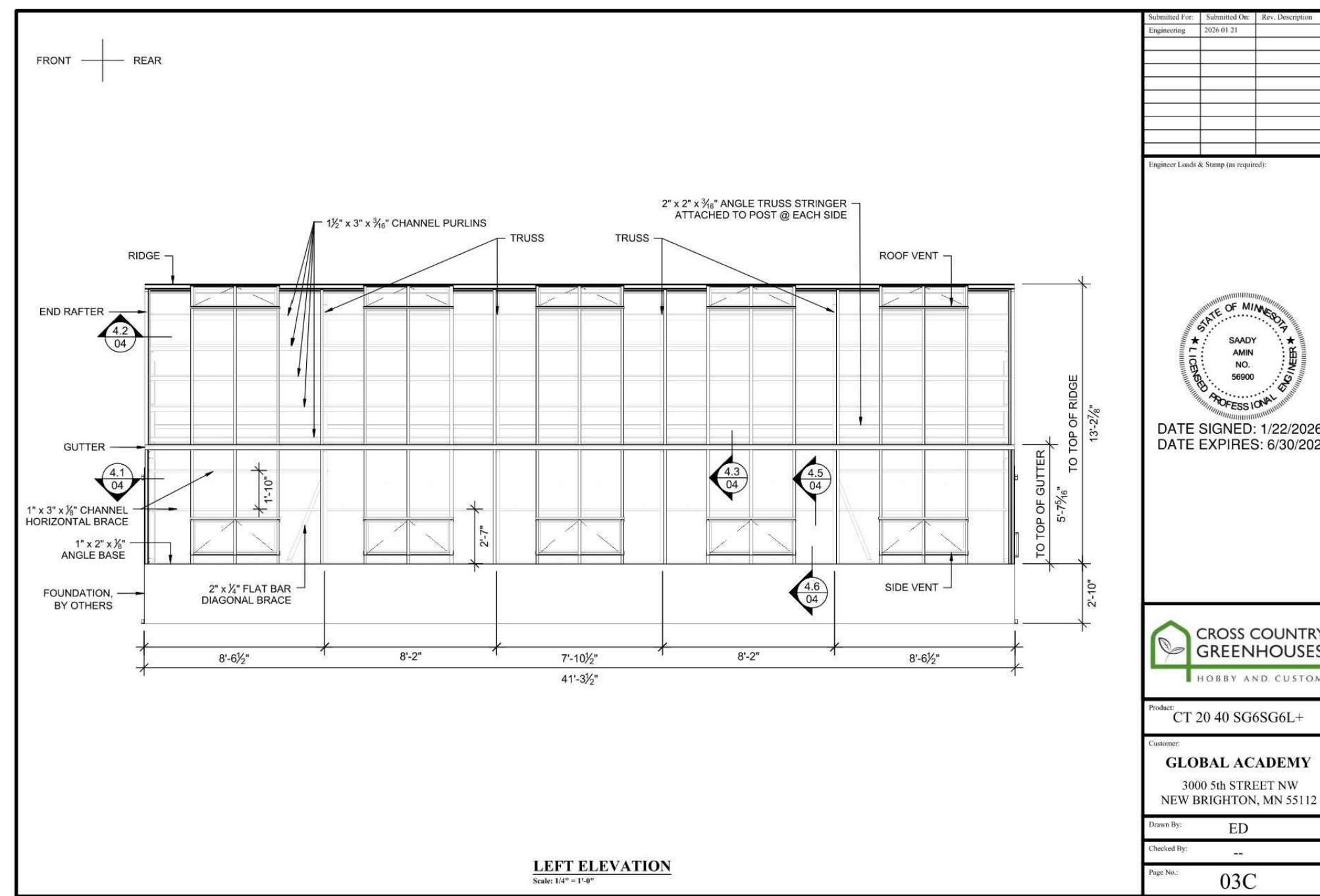


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3000 5th STREET NW
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Checked By: --
Page No: 02B

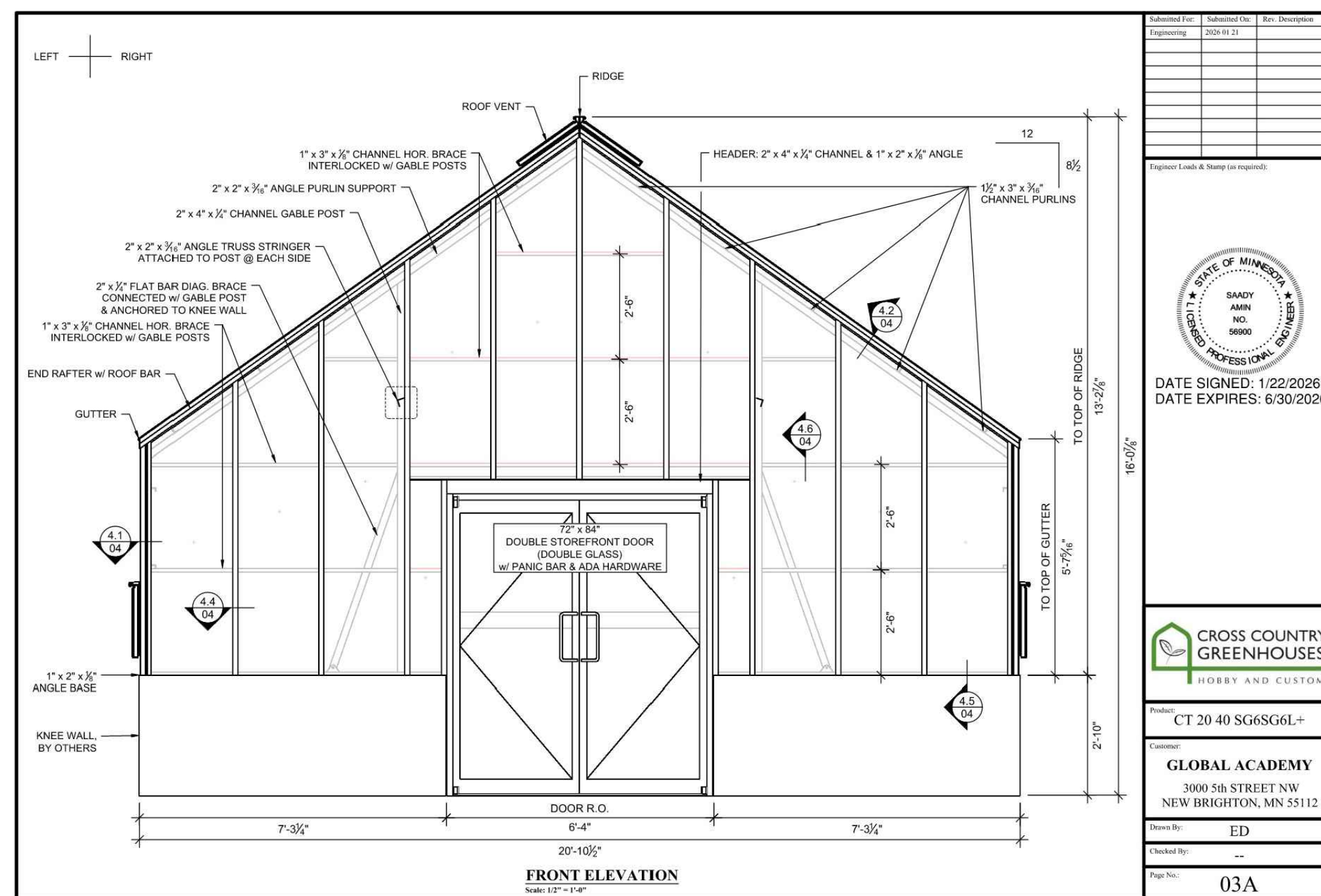


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CROSS COUNTRY GREENHOUSES
HOBBY AND CUSTOM

Project: CT 20 40 SG6SG6L+
Client: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112
Drawn By: ED
Checked By: --
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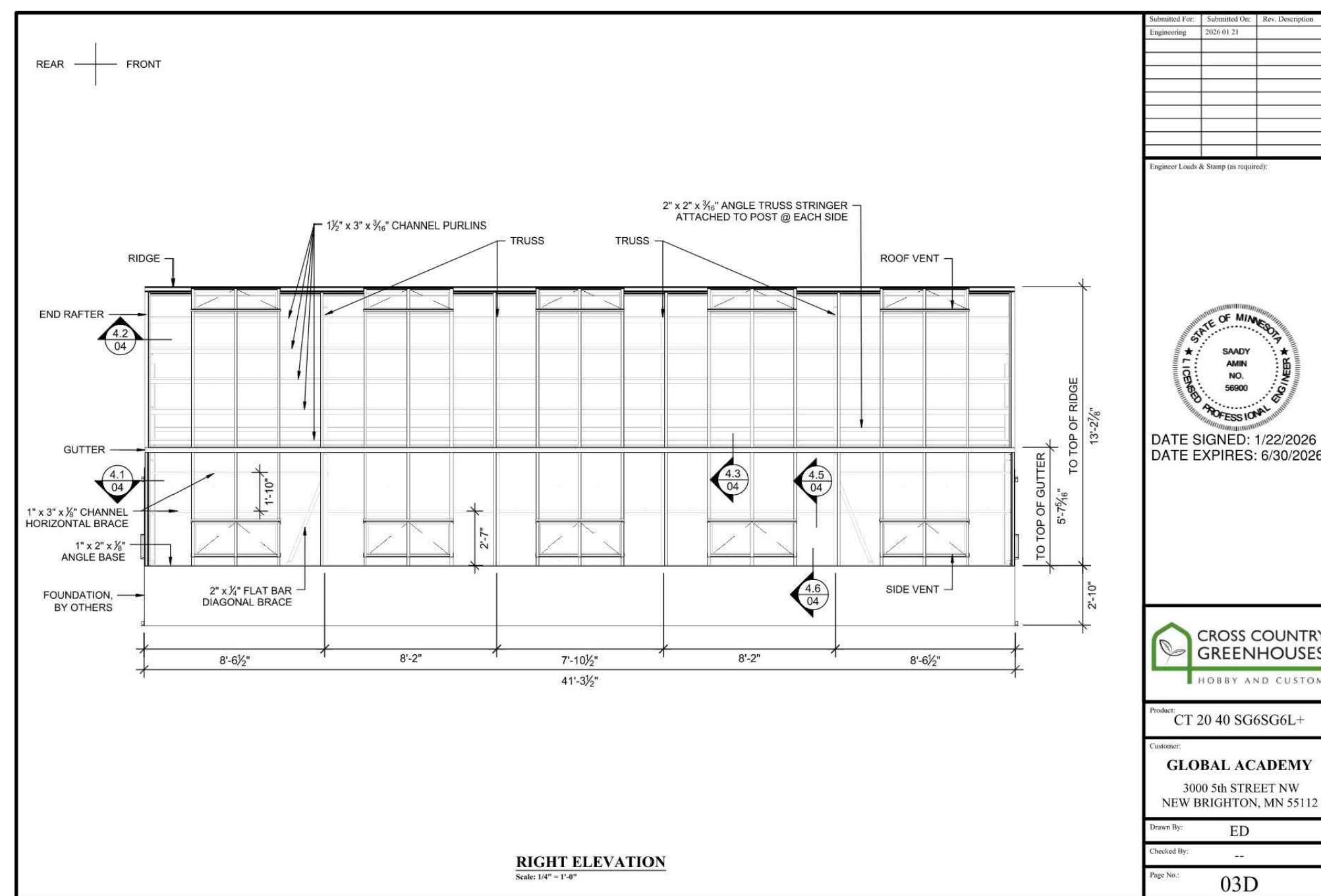


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CROSS COUNTRY GREENHOUSES
HOBBY AND CUSTOM

Project: CT 20 40 SG6SG6L+
Client: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112
Drawn By: ED
Checked By: --
Page No: 03A



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DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026

CROSS COUNTRY GREENHOUSES
HOBBY AND CUSTOM

Project: CT 20 40 SG6SG6L+
Client: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112
Drawn By: ED
Checked By: --
Page No: 03D

GLOBAL ACADEMY GREENHOUSE
555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112

GLOBAL ACADEMY
3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112

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Matthew R. Pavak
DATE 04/08/2026 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
04/08/2026	PERMIT SET

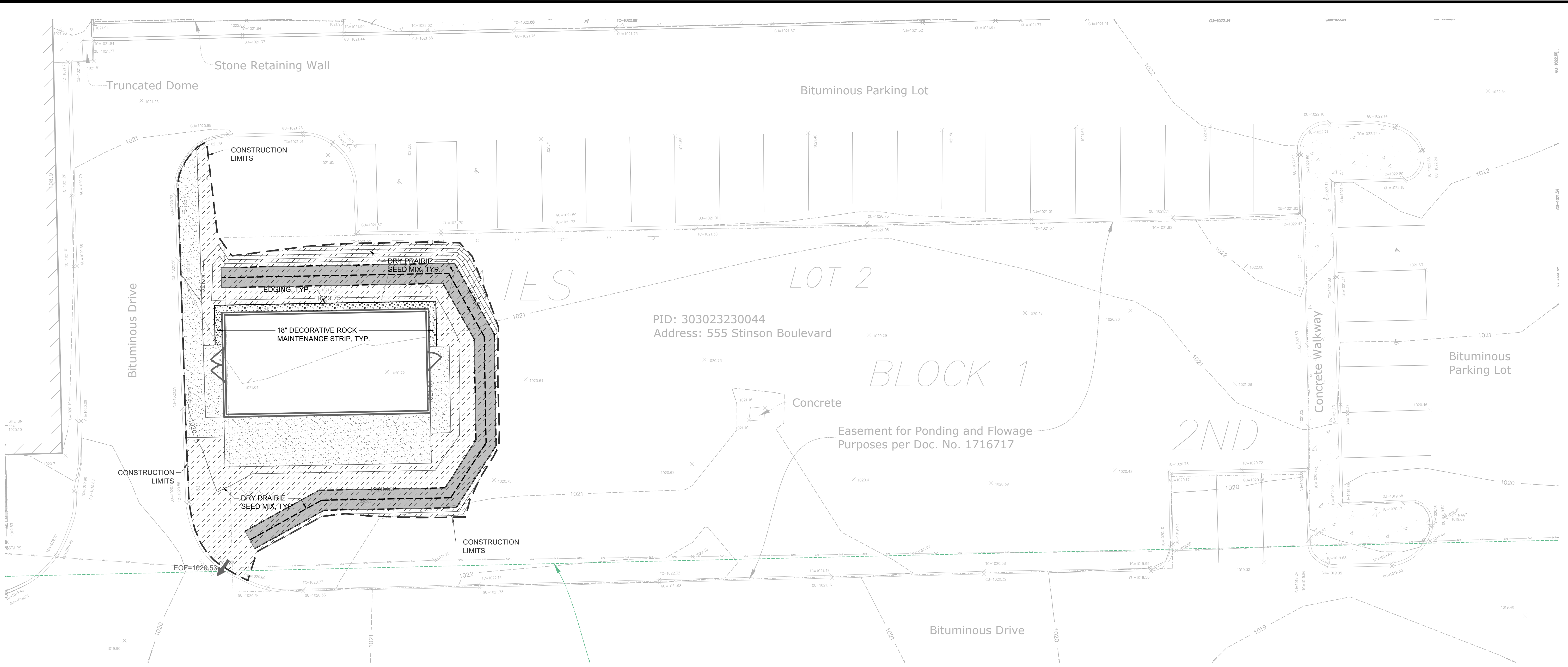
REVISION SUMMARY

DATE	DESCRIPTION
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CIVIL DETAILS

C5.0

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PID: 303023230044
Address: 555 Stinson Boulevard

LANDSCAPE NOTES:

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. REFERENCE MULCH SCHEDULE FOR MULCH MATERIALS AND LOCATIONS.
3. ALL TREES SHALL BE MULCHED WITH SHREDDED CEDAR MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
4. IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
5. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
6. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
7. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR TWO (2) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
8. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 6" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
11. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
12. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
13. PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
14. CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

POLLINATOR SAFE PLANT MATERIAL:

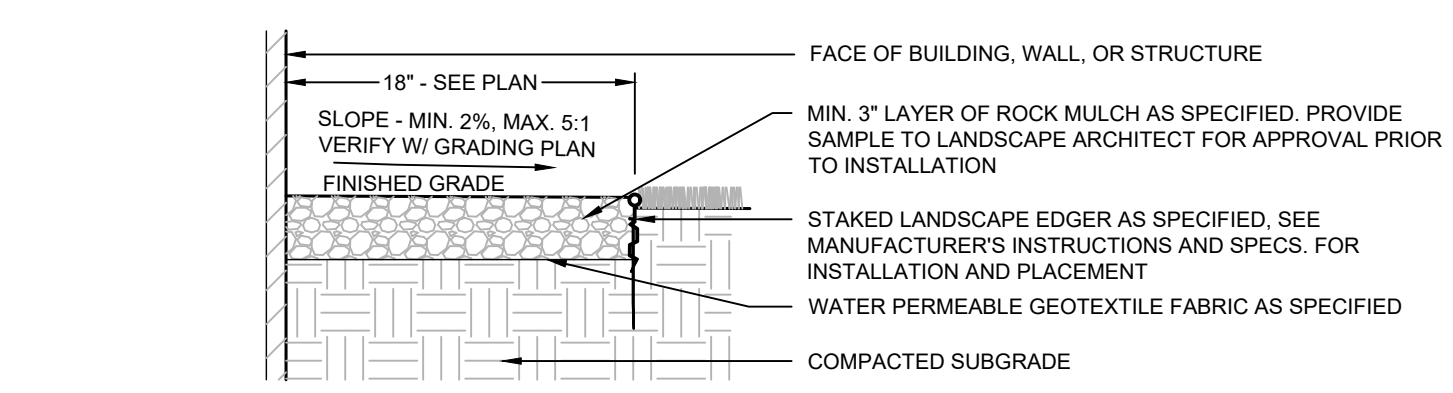
1. THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BUT NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIACTOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
2. CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIER'S POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

MULCH SCHEDULE				
AREA	MULCH TYPE	EDGING	FABRIC	REMARKS
TREE RINGS	4" DEPTH, SHREDDED CEDAR	YES	NO	SEE DETAIL SHT. L1.1
PLANTING BEDS	4" DEPTH, SHREDDED CEDAR	YES	NO	
MAINT. STRIP AT BUILDING FOUNDATION	NA	NA	NA	
NATIVE SEED AREAS	NA	NA	NA	

NOTE: COORDINATE ALL MULCH AND PLANTING BED MATERIAL PRIOR TO INSTALLATION. PROVIDE SAMPLES AND SHOP DRAWINGS/PHOTOS/DATA SHEETS OF ALL MATERIALS

PLANTING SEASON SCHEDULE			
SEASON	CONIFEROUS	DECIDUOUS	REMARKS
SPRING PLANTING	APRIL 15 - JUNE 15	APRIL 15 - JUNE 15	
FALL PLANTING	AUGUST 21 - SEPTEMBER 30	AUGUST 15 - NOVEMBER 15	

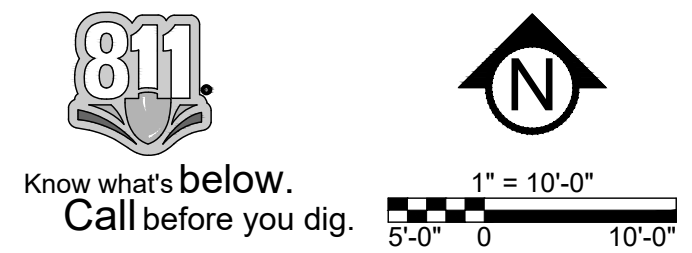
NOTE: ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.



1 AGGREGATE MAINTENANCE STRIP
NTS

LANDSCAPE PLAN LEGEND:

SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
[Symbol]	ROCK MAINTENANCE STRIP / ROCK MAINTENANCE STRIP
MNDOT - SEED MIXES	
[Symbol]	MN SEED MIX #35-221 DRY PRAIRIE GENERAL, / MNDOT - GENERAL RESTORATION
[Symbol]	PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
[Symbol]	PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
[Symbol]	EDGING - SHALL BE COMMERCIAL GRADE, 4" DEPTH ALUMINUM, BLACK OR DARK GREEN IN COLOR. INCLUDE ALL CONNECTORS, STAKES, & ALL APPURTENANCES PER MANUF. INSTALL PER MANUF. INSTRUC./SPECS.
[Symbol]	DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.
[Symbol]	CONSTRUCTION LIMITS



PROJECT
GLOBAL ACADEMY GREENHOUSE
555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112
3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112

OWNER
GLOBAL ACADEMY

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Sarver
DATE 04/08/2026 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/08/2026	PERMIT SET

REVISION SUMMARY	
DATE	DESCRIPTION

PROJECT MANAGER: PATRICK SARVER
CONTACT NUMBER: 612.615.0060 X 702
DRAWN BY: KE. ND
REVIEWED BY: PS
PROJECT NUMBER: 18017.05

REVISION SUMMARY	
DATE	DESCRIPTION

LANDSCAPE PLAN

L1.0

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR10001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
4. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWNSTREAM CATCH BASINS
5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
7. CLEAR AND GRUB REMAINDER OF SITE
8. STRIP AND STOCKPILE TOPSOIL
9. ROUGH GRADING OF SITE
10. STABILIZE DENUED AREAS AND STOCKPILES
11. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
12. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
13. INSTALL STREET SECTION
14. INSTALL CURB AND GUTTER
15. BITUMINOUS ON STREETS
16. FINAL GRADE BOLLIVARD, INSTALL SEED AND MULCH
17. REMOVE ACCUMULATED SEDIMENT FROM BASIN/ POND
18. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
19. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOIL/LANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 1. THE FINAL SWPPP;
2. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE);
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

- 1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTORS SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPS AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTIONS AND MAINTENANCE OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN WR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

- 1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES, CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMP'S AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

- 1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

- 1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES.
6. TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES.
7. PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
8. PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.

- 9. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

- 1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. PERMITTEES MAY REMOVE INLETS WITH A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
7. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADE SIDE OF THE DITCHES.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING OUT OF THE STREET.
12. PERMITTEES MUST INSTALL PERIMETER SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST NOT DISCHARGE TO A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. PERMITTEES ARE NOT REQUIRED TO ADJUST TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS DATE OF THE NOT.
17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

- 1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LOADED WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMP'S SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

- 1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMP'S.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND POLLUTION PREVENTION MATERIALS, INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMP'S WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE, OR
b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT OR
c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
a. DATE AND TIME OF INSPECTIONS; AND
b. NAME OF PERSONS CONDUCTING INSPECTIONS, AND
c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
d. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SURVEILLANCE; AND

- 1. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL, SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
9. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

- 1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER.
2. PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
3. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

- 1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMP'S PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMP'S DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S HOMEOWNER FACT SHEET TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS:

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

- SEED
• TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

- MULCH
• IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

- SLOPES
• 3:1 (HORIZ/VERT) JO OR FLATTER MICH SHALL BE COVERED WITH MULCH
• SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
• SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

TRAINING SECTION 21

DESIGN ENGINEER: DAVID J. KNAEBLE P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012
TOTAL TRAINING HOURS: 12
DATE OF RECERTIFICATION: 1/3/2025
EXPIRATION: 5/31/2028

OWNER INFORMATION

GLOBAL ACADEMY
3000 5TH STREET NW
NEW BRIGHTON, MN 55112
BRANDON KROSCH
763-245-0777
BRANDON.KROSCH@GLOBALACADEMY.US

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

CONTRACTOR: SWPPP INSPECTOR TRAINING:
ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP.

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

- CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:
ATTACHMENT A. CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT
ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST
ATTACHMENT C. MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS
ATTACHMENT D. STORMWATER MAINTENANCE AND INSPECTION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.
ATTACHMENT E. GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS LESS THAN 1.0 ACRES SO AN NPDES PERMIT IS NOT REQUIRED AND NEEDS TO BE SUBMITTED TO THE MPCA. THE CONTRACTOR IS REQUIRED TO FOLLOW THE GUIDELINES IN THE NPDES PERMIT THROUGHOUT CONSTRUCTION.

PROJECT NARRATIVE:

PROJECT IS AN EXISTING ACADEMY WITH A LARGE PARKING LOT AND GREENSPACE. WE ARE PROPOSING A GREENHOUSE TO BE ADDED TO THE EXISTING SITE. SITE, GRADING, AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

NATIVE BUFFER NARRATIVE:

PRESERVING A 50 FOOT NATURAL BUFFER AROUND WATER BODIES IS PROVIDED IN THESE PLANS.

INFILTRATION NARRATIVE:

INFILTRATION IS NOT PROVIDED AS PART OF THE PROJECTS PERMANENT STORM WATER MANAGEMENT SYSTEM.

SOIL CONTAMINATION NARRATIVE:

SOILS ONSITE HAVE NOT BEEN IDENTIFIED AS CONTAMINATED.

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

- PERMANENT SEED MIX
• FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX.
• AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 33-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE.
• DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
• MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.

CivilSite GROUP logo and contact information: 5000 Glenwood Avenue, Golden Valley, MN 55122, civilsitegroup.com 612-615-0060

GLOBAL ACADEMY GREENHOUSE PROJECT label and address: 555 STINSON BOULEVARD, NEW BRIGHTON, MN 55112. GLOBAL ACADEMY OWNER label and address: 3000 5TH STREET NORTHWEST, NEW BRIGHTON, MN 55112.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
DATE 04/08/2026 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

Table with 2 columns: DATE, DESCRIPTION. Row 1: 04/08/2026, PERMIT SET.

PROJECT MANAGER: PATRICK SARVER
CONTACT NUMBER: 612-245-0556 X 702
DRAWN BY: KIE, ND
REVIEWED BY: PS
PROJECT NUMBER: 18017.05

REVISION SUMMARY

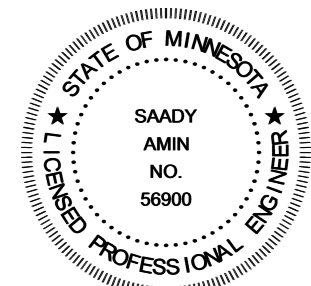
Table with 2 columns: DATE, DESCRIPTION. Multiple empty rows.

SWPPP - NARRATIVE

SW1.2

Submitted For:	Submitted On:	Rev. Description
Engineering	2026 01 21	

Engineer Loads & Stamp (as required):



DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026



Product: CT 20 40 SG6SG6L+

Customer: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112

Drawn By: ED

Checked By: --

Page No.: 00

DRAWING INDEX	
PAGE	DRAWING TITLE
00	DRAWING INDEX
01	3D VIEW
02A	ROOF TOP PLAN
02B	FOUNDATION PLAN LAYOUT
03A	FRONT ELEVATION
03B	REAR ELEVATION
03C	LEFT ELEVATION
03D	RIGHT ELEVATION
03E	TRUSS ELEVATION
04A	DETAILS AND SECTIONS
04B	DETAILS AND SECTIONS
04C	DETAILS AND SECTIONS

NOTES:

- COTTAGE STYLE WITH 8½:12 ROOF SLOPE
- ALL OPEN DIE ALUMINUM EXTRUSIONS LESS THAN 3/16" THICKNESS ARE 6063-T52 ALLOY
- ALL OPEN DIE ALUMINUM EXTRUSIONS 3/16" OR THICKER ARE 6063-T6 ALLOY
- RIDGE & GUTTER ARE 6063-T6 ALLOY
- ALL FASTENERS ARE STAINLESS STEEL
- ROOF GLAZING: 6mm SINGLE GLASS, FULL SHEET, LAMINATED & ANNEALED
- WALL GLAZING: 6mm SINGLE GLASS, FULL SHEET, TEMPERED
- FOUNDATION: CONCRETE, BY OTHERS. MIN. FC' = 4000 PSI
- GREENHOUSE SHALL HAVE A CONSTANTLY MAINTAINED INTERIOR TEMPERATURE OF 50°F (10°C) OR MORE AT ANY POINT 3 FT (0.9 M) ABOVE THE FLOOR LEVEL DURING WINTERS AND HAVING EITHER A MAINTENANCE ATTENDANT ON DUTY AT ALL TIMES OR A TEMPERATURE ALARM SYSTEM TO PROVIDE WARNING IN THE EVENT OF A HEATING FAILURE.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Saady Amin*

PRINTED NAME: SAADY AMIN

DATE: 01/22/2026 LICENSE NUMBER: 56900

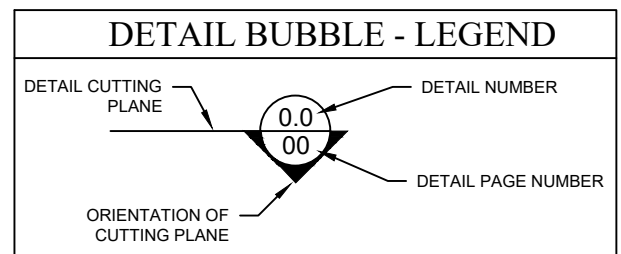
Code: 2020 MBC (IBC 2018)
Use Group: U (Greenhouse)
Risk Category: III

Design Loads

- Dead Load (D)
Self weight of structural members
6mm SINGLE GLASS (WALLS) = 3.07 psf
6mm SINGLE GLASS (ROOF) = 3.07 psf
- Roof Live Load (L_r) L_r = 12 psf
- Snow Load (S)
Ground snow load p_g = 60 psf
Exposure factor C_e = 1.00
Thermal factor C_t = 0.85
Importance factor I_s = 1.10
Flat roof snow load p_r = 39.27 psf
Roof slope factor C_s = 0.87
Sloped roof snow load p_s = 34.06 psf
- Wind Load (W)
Design wind speed V_{ult} = 116 mph
Exposure B
- Seismic Load (E)
Site class D
S_s / S₁ 0.048 / 0.029
S_{ds} / S_{d1} 0.051 / 0.046
Importance factor I_e = 1.25

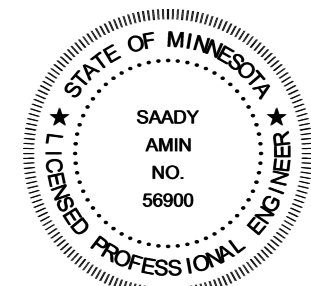
Load Combinations

1. D + (L_r or S)
2. D + (0.6W or ± 0.7E)
3. D + 0.75(0.6W or ± 0.7E) + 0.75(L_r or S)
4. 0.6D + (0.6W or ± 0.7E)



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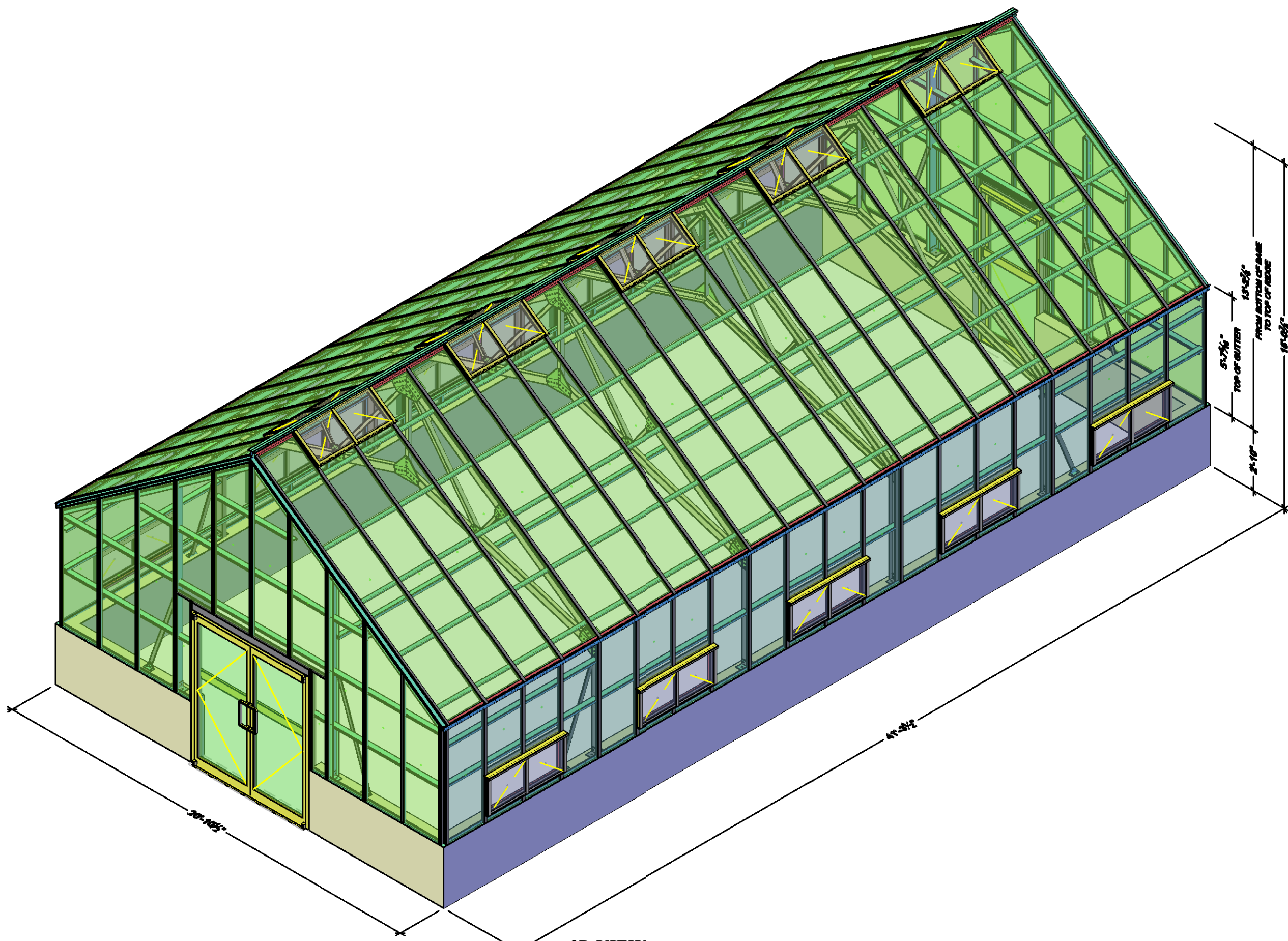
Product: CT 20 40 SG6SG6L+

Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

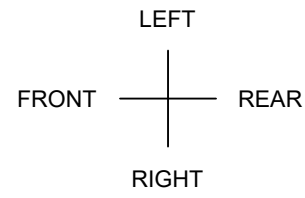
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Checked By: --

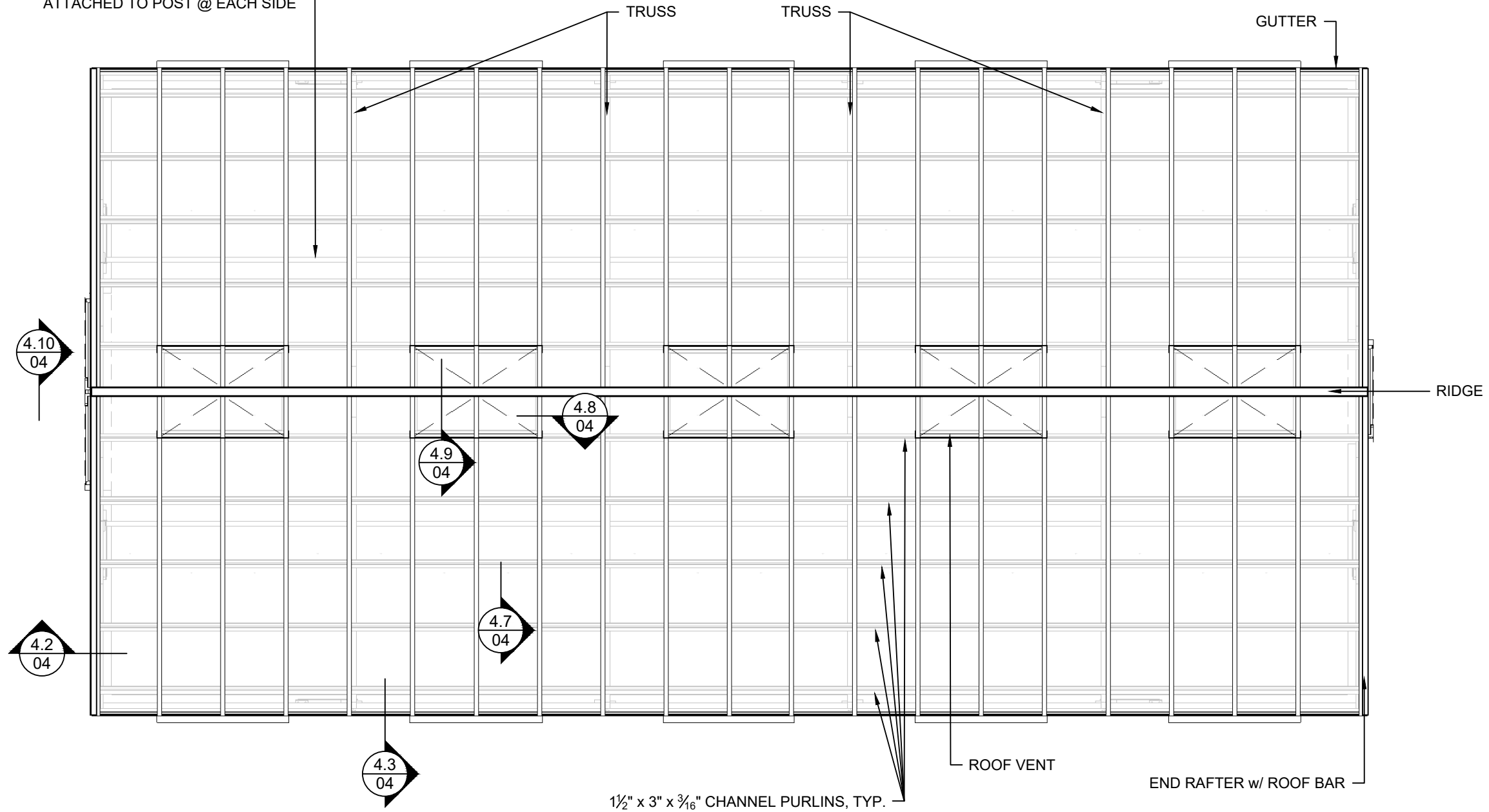
Page No.: 01



3D VIEW
Scale: N.T.S.



2" x 2" x 3/16" ANGLE TRUSS STRINGER ATTACHED TO POST @ EACH SIDE

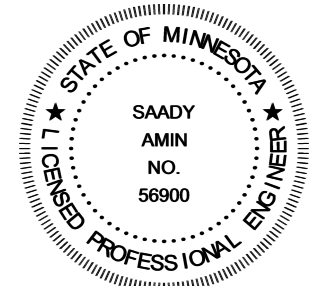


1 1/2" x 3" x 3/16" CHANNEL PURLINS, TYP.

ROOF TOP PLAN
Scale: 1/4" = 1'-0"

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Engineering	2026 01 21	

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DATE EXPIRES: 6/30/2026



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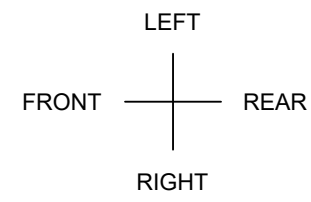
Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

Drawn By: ED

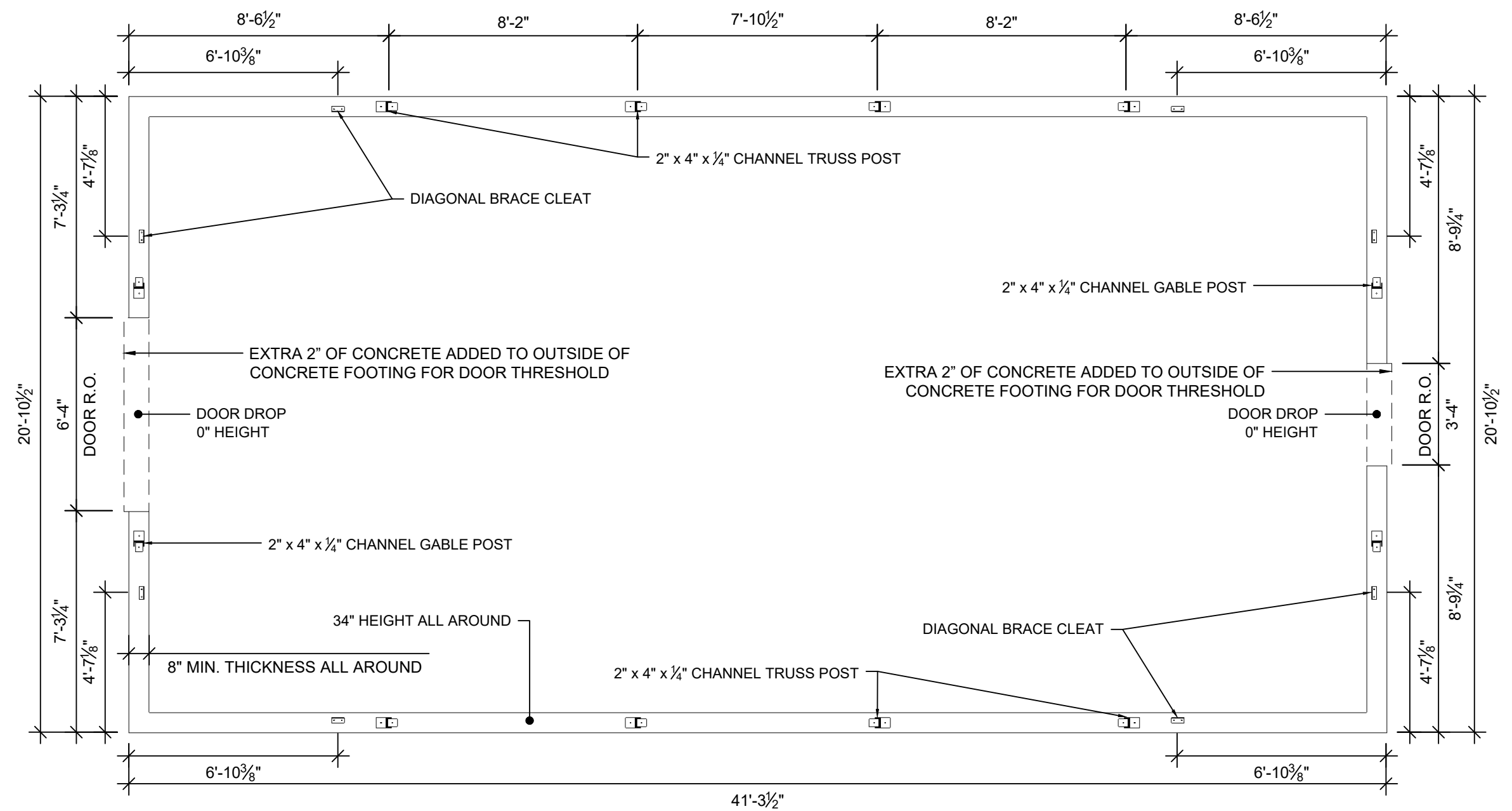
Checked By: --

Page No.: 02A

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Engineering	2026 01 21	



- NOTE:**
1. ALL DIMENSIONS ARE TO THE OUTSIDE OF GREENHOUSE FRAME, UNLESS OTHERWISE NOTED
 2. ALL CONCRETE WORK / FOUNDATION BY OTHERS
 3. TOP OF FOUNDATION REQUIRED TO BE SQUARE & LEVEL
 4. DO NOT USE LEVELING STRIPS OR ANCHOR BOLTS IN TOP OF WALL



Engineer Loads & Stamp (as required):

DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026



Product: CT 20 40 SG6SG6L+

Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

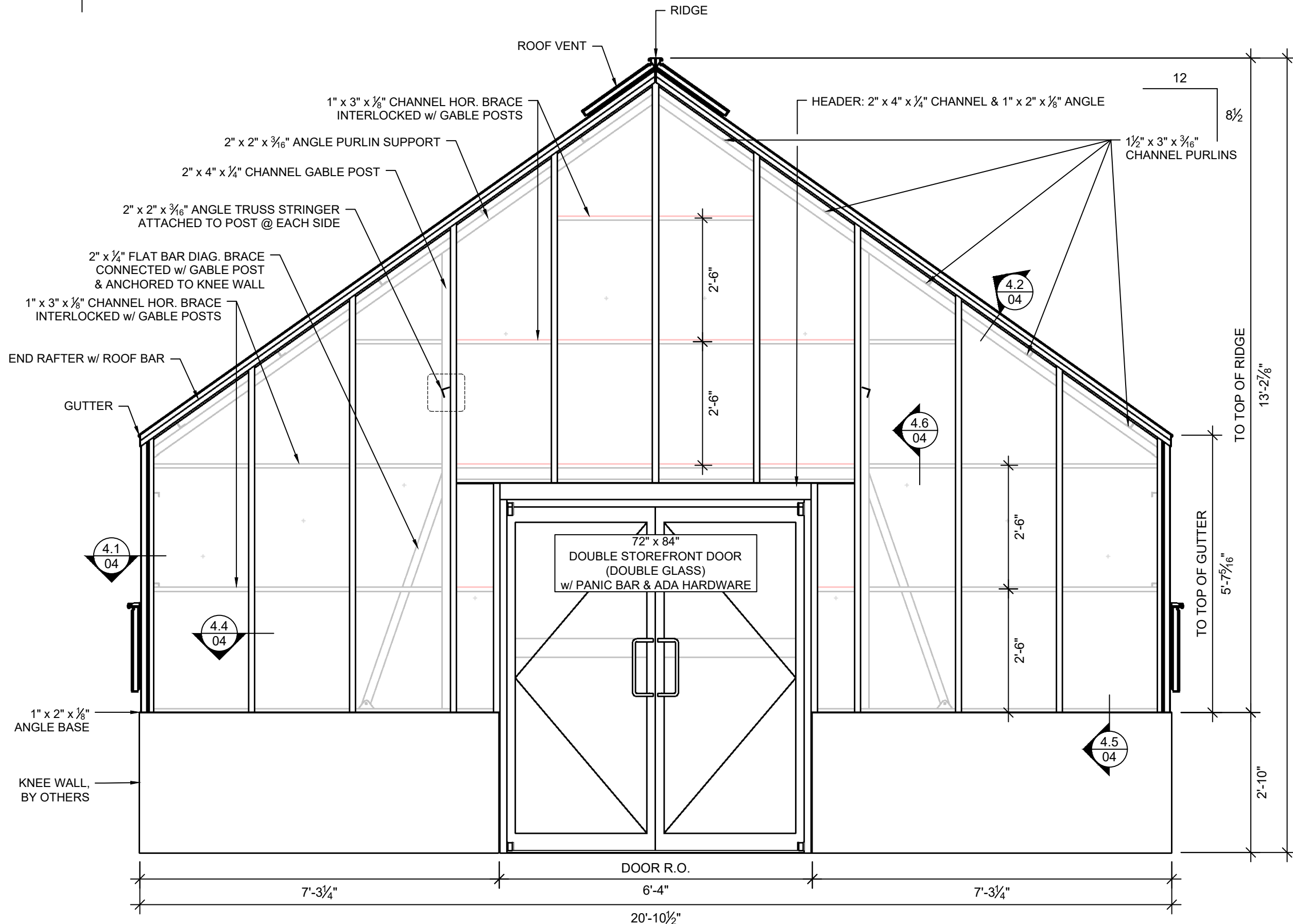
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Page No.: 02B

FOUNDATION PLAN LAYOUT
Scale: 1/4" = 1'-0"

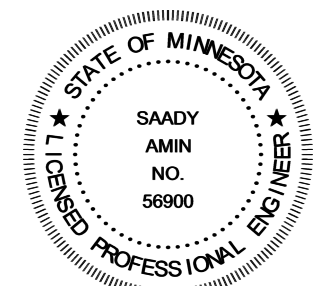
LEFT + RIGHT



FRONT ELEVATION
Scale: 1/2" = 1'-0"

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Engineering	2026 01 21	

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DATE EXPIRES: 6/30/2026



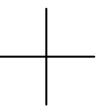
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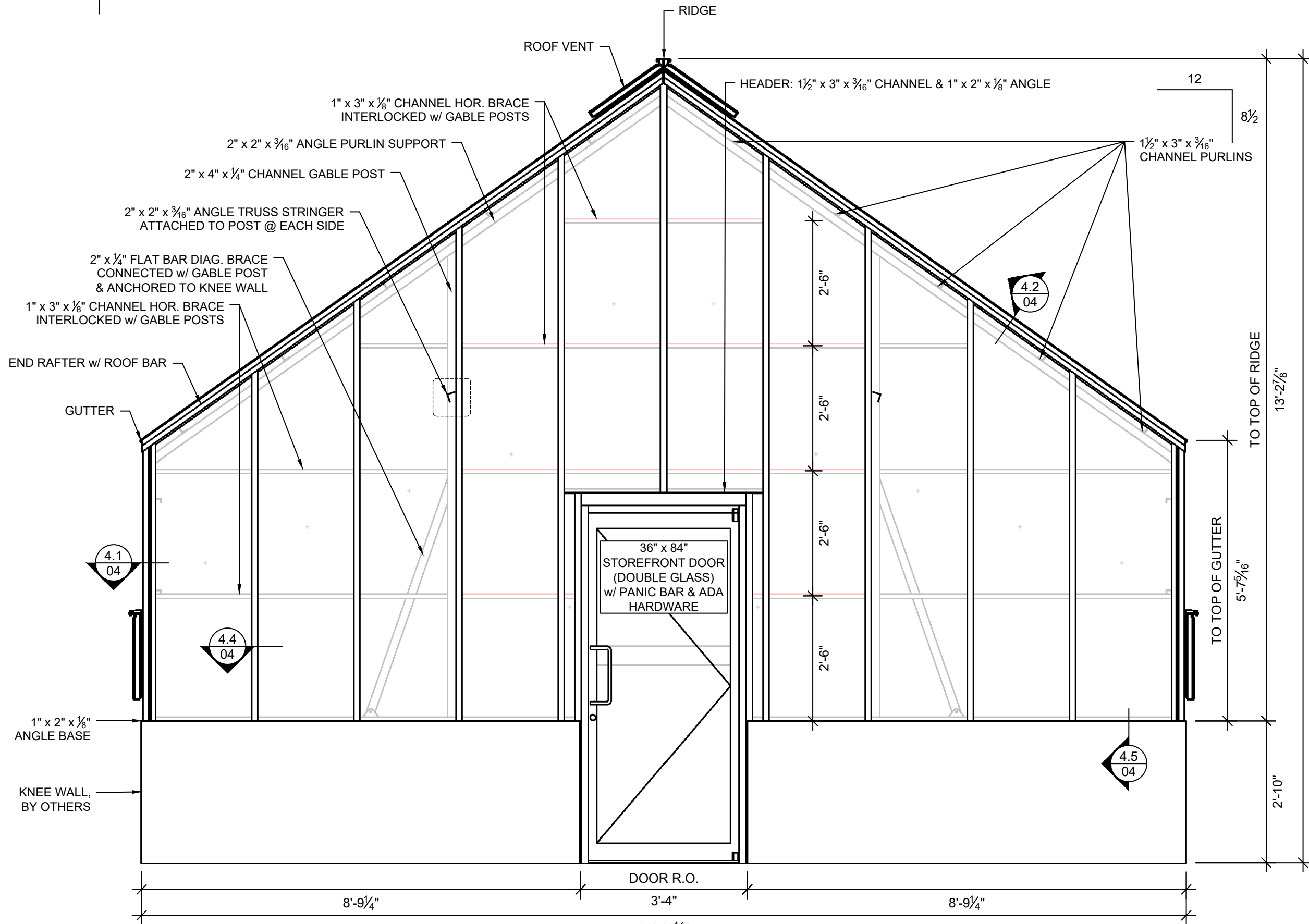
Customer: **GLOBAL ACADEMY**
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Drawn By: ED

Checked By: --

Page No.: 03A

RIGHT  LEFT

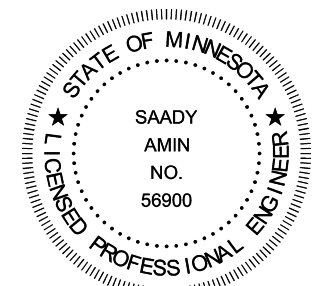


REAR ELEVATION

Scale: 1/2" = 1'-0"

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Engineering	2026 01 21	

Engineer Loads & Stamp (as required):



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DATE EXPIRES: 6/30/2026



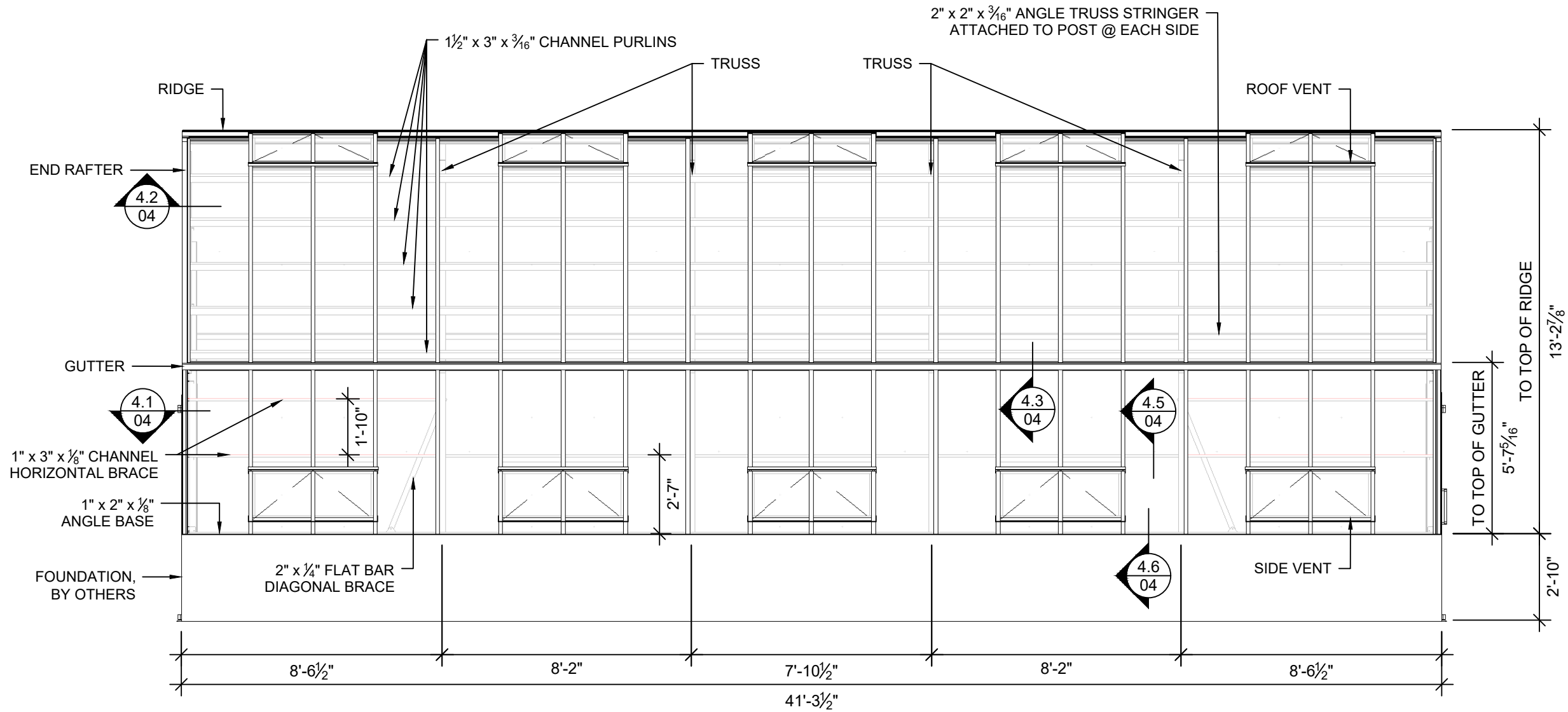
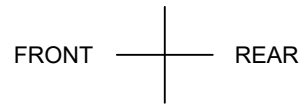
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Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

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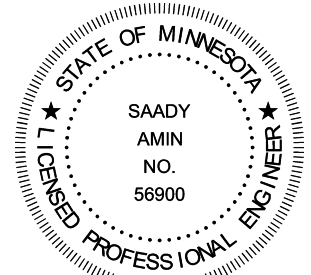
Page No.: 03B



LEFT ELEVATION
Scale: 1/4" = 1'-0"

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Engineer Loads & Stamp (as required):



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DATE EXPIRES: 6/30/2026



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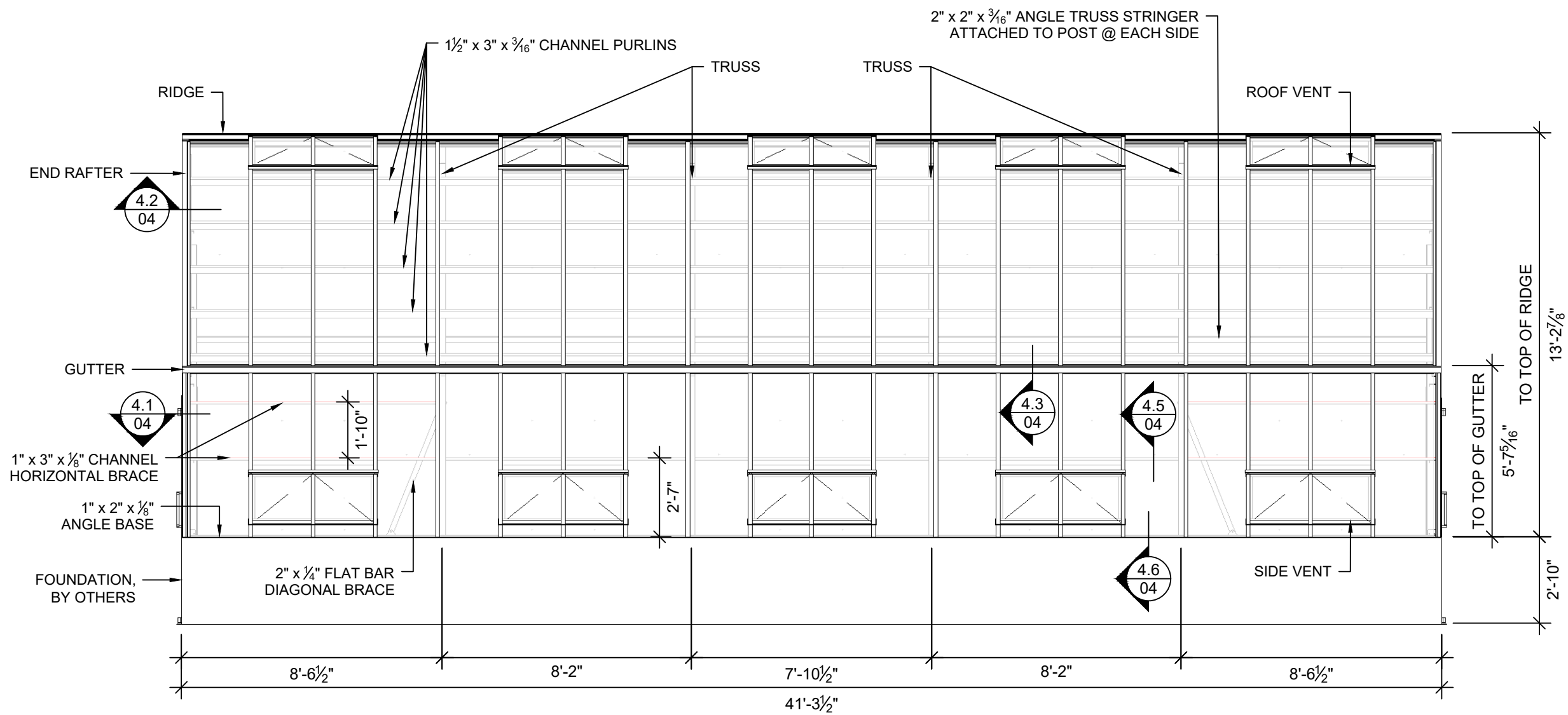
Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

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Page No.: 03C

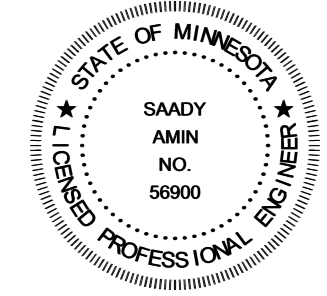
REAR ——— FRONT



RIGHT ELEVATION
Scale: 1/4" = 1'-0"

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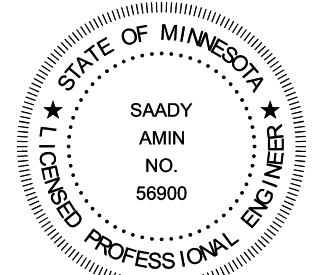
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Page No.: 03D

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Engineering	2026 01 21	

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DATE EXPIRES: 6/30/2026



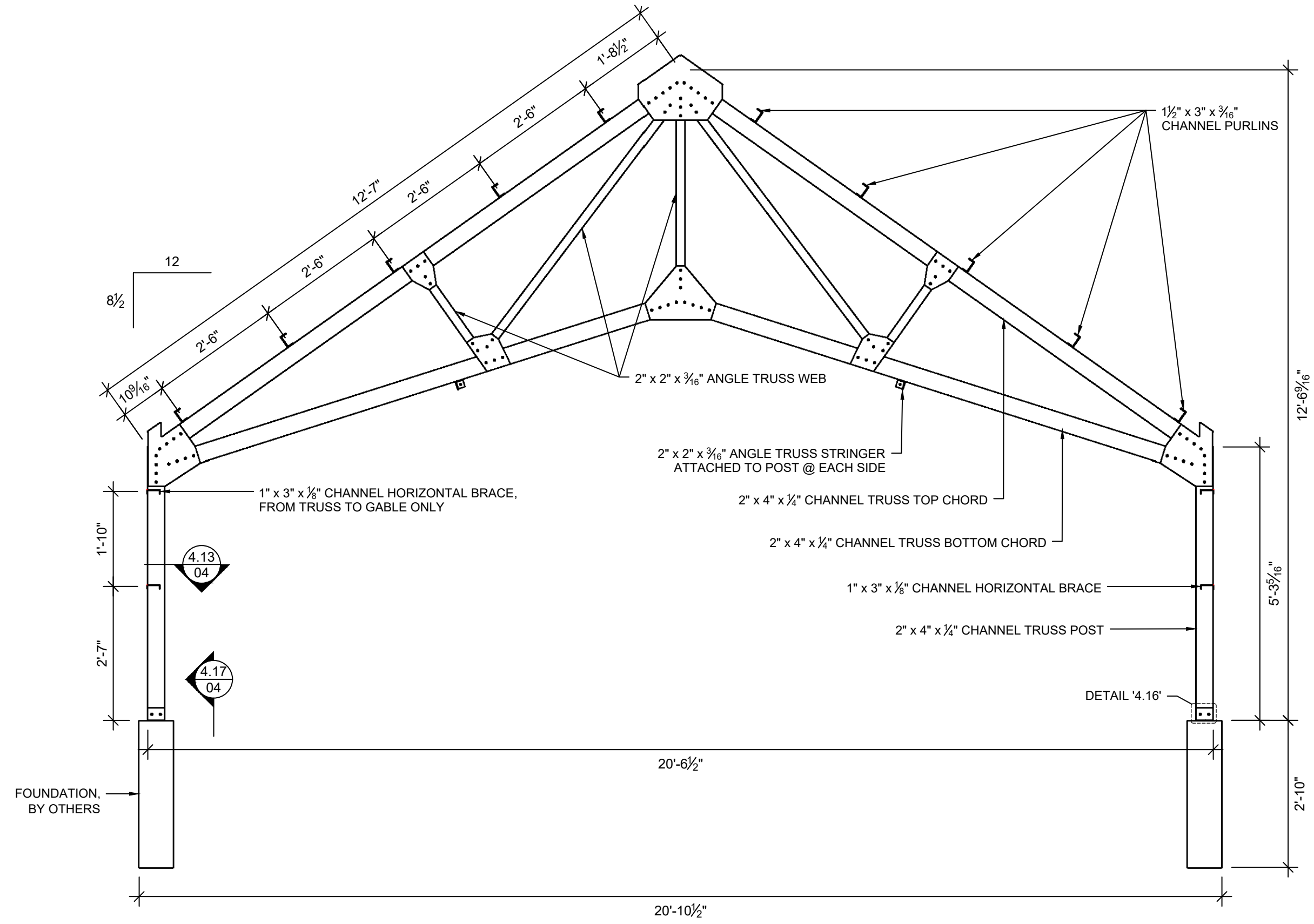
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Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

Drawn By: ED

Checked By: --

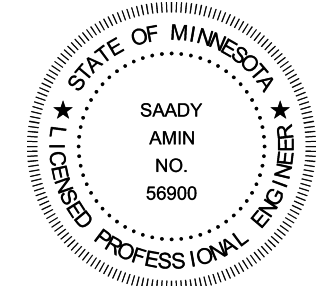
Page No.: 03E



TRUSS ELEVATION
Scale: 1/2" = 1'-0"

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Engineering	2026 01 21	

Engineer Loads & Stamp (as required):



DATE SIGNED: 1/22/2026
 DATE EXPIRES: 6/30/2026



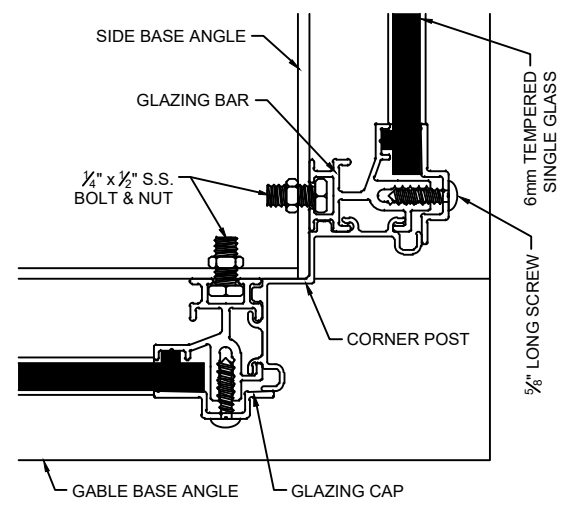
Product: CT 20 40 SG6SG6L+

Customer: GLOBAL ACADEMY
 3000 5th STREET NW
 NEW BRIGHTON, MN 55112

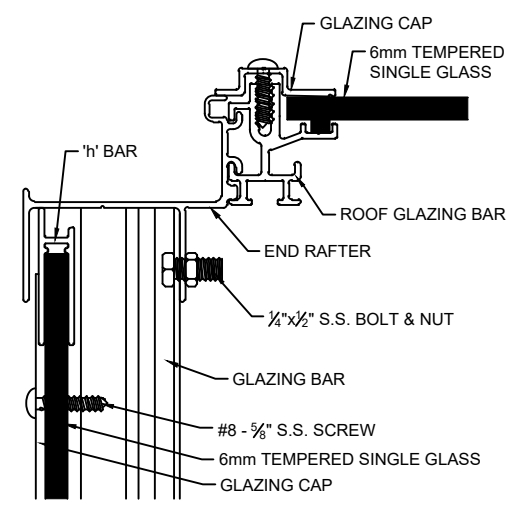
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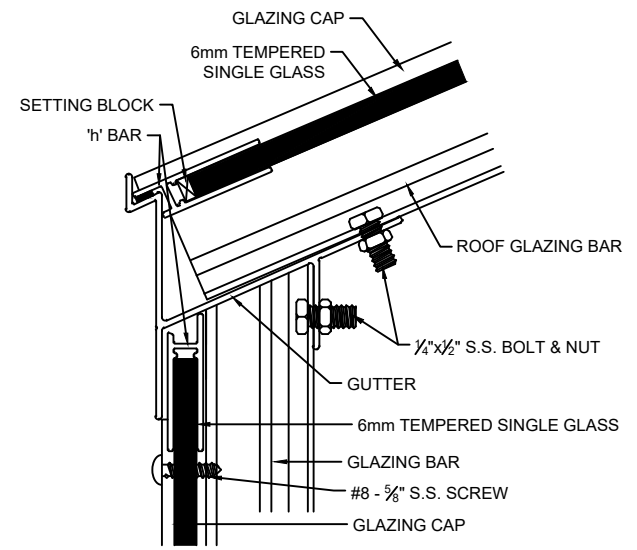
Page No.: 04A



4.1 CORNER DETAIL
 Scale: 6" = 1' - 0"

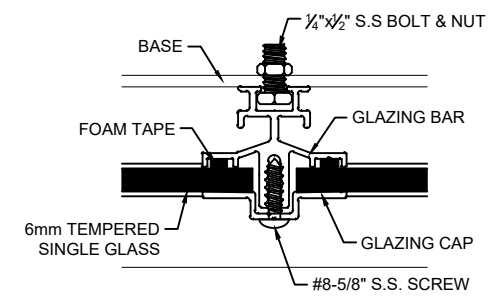


4.2 END RAFTER SECTION
 Scale: 6" = 1' - 0"

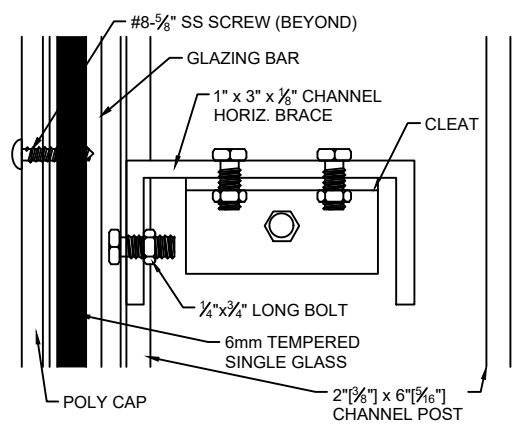


4.3 GUTTER SECTION
 Scale: 6" = 1' - 0"

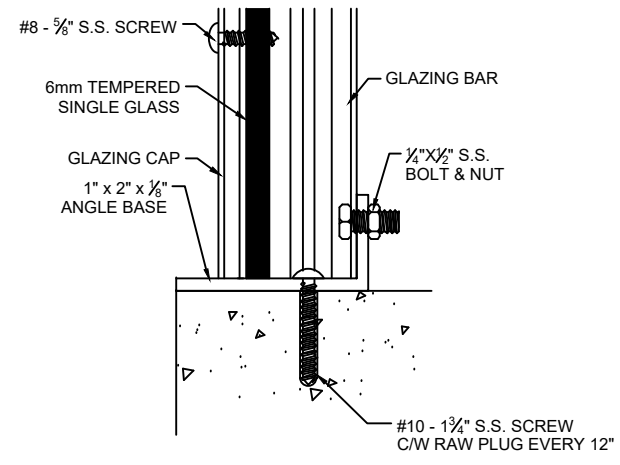
ANCHOR NOTES:
 - MIN. EDGE DISTANCE FOR SCREW IS 1 1/2"
 - MIN. EFF. EMBED DEPTH FOR 1/2" CONC. ANCHOR IS 4"
 - MIN. EFF. EMBED DEPTH FOR 3/8" CONC. ANCHOR IS 3.25"
 - MIN. EDGE DISTANCE FOR CONC. ANCHORS IS 4"



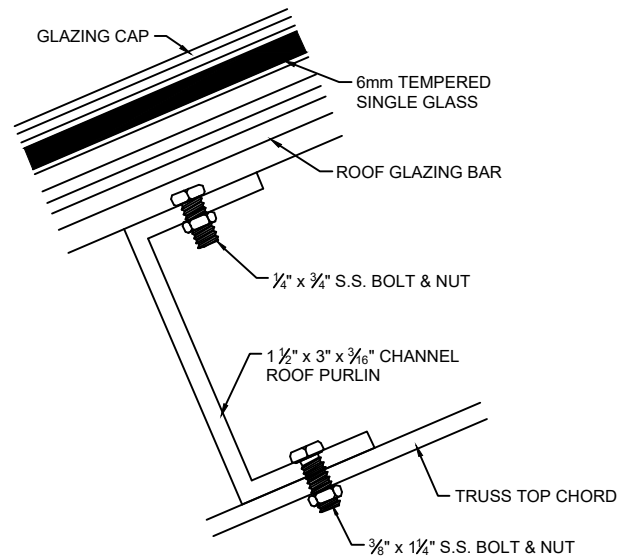
4.4 GLAZING BAR
 Scale: 6" = 1' - 0"



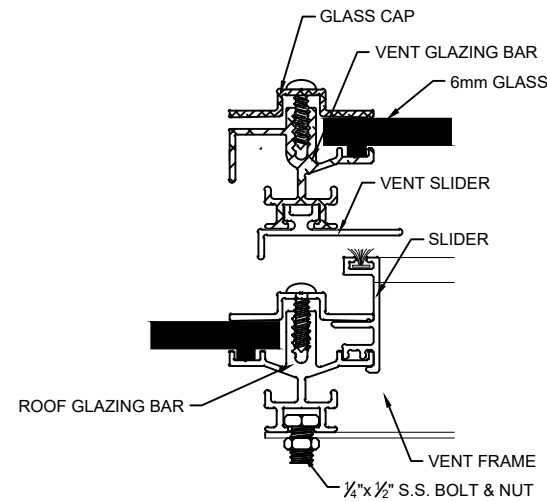
4.5 BRACE CONNECTION DETAIL
 Scale: 6" = 1' - 0"



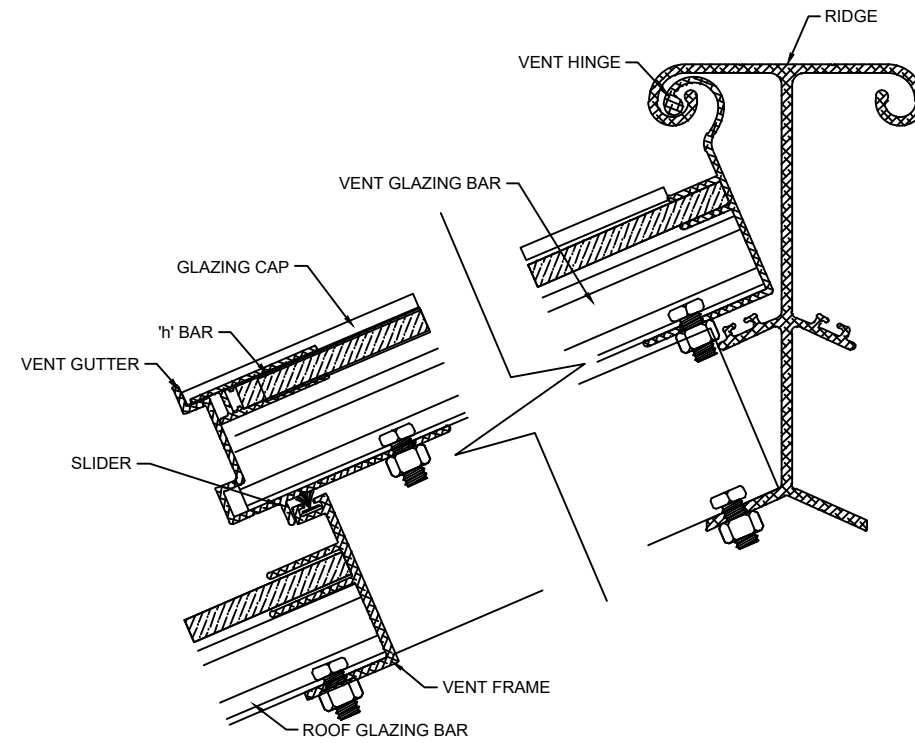
4.6 BASE SECTION
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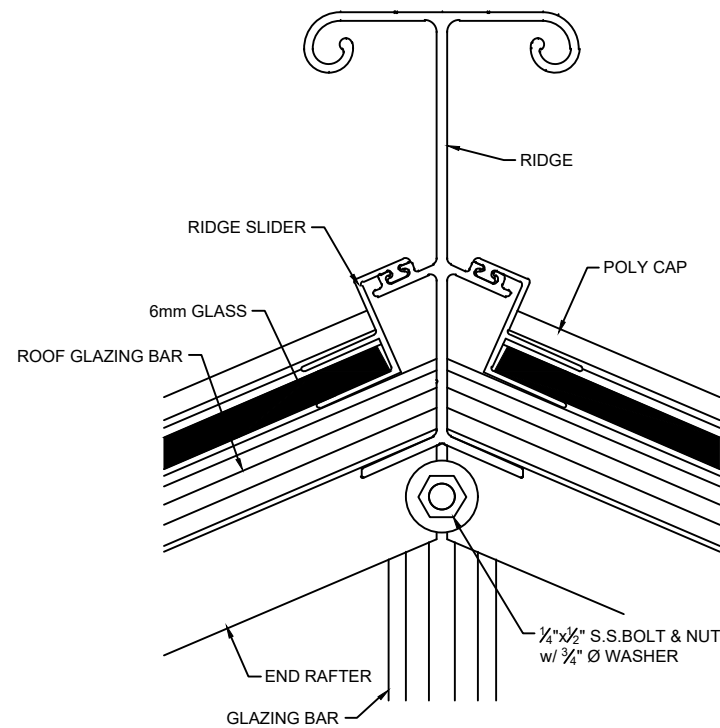
4.7 ROOF PURLIN SECTION
Scale: 6" = 1' - 0"



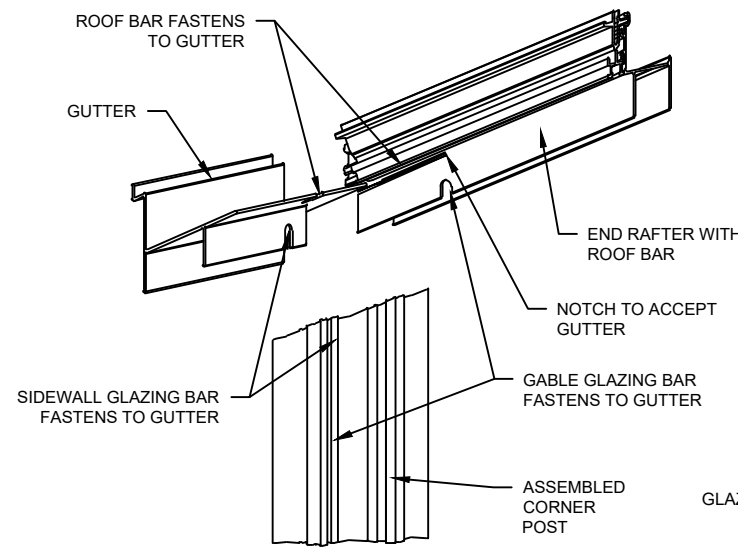
4.8 ROOF VENT FRAME SECTION
Scale: 6" = 1' - 0"



4.9 ROOF VENT FRAME SECTION
Scale: 6" = 1' - 0"

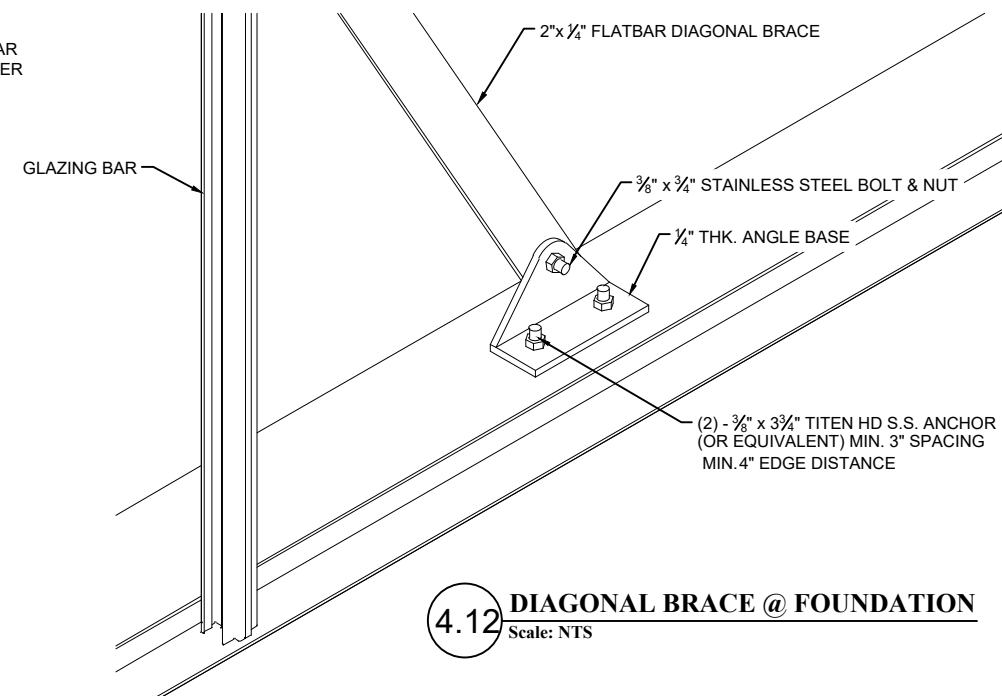


4.10 END RAFTER MITRE DETAIL
Scale: 6" = 1' - 0"



4.11 3D CORNER ASSEMBLY DETAIL
Scale: NTS

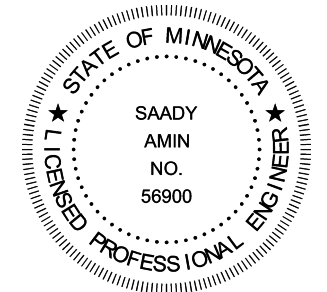
ANCHOR NOTES:
 - MIN. EDGE DISTANCE FOR SCREW IS 1 1/2"
 - MIN. EFF. EMBED DEPTH FOR 1/2" CONC. ANCHOR IS 4"
 - MIN. EFF. EMBED DEPTH FOR 3/8" CONC. ANCHOR IS 3.25"
 - MIN. EDGE DISTANCE FOR CONC. ANCHORS IS 4"



4.12 DIAGONAL BRACE @ FOUNDATION
Scale: NTS

Submitted For:	Submitted On:	Rev. Description
Engineering	2026 01 21	

Engineer Loads & Stamp (as required):



DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026



Product: CT 20 40 SG6SG6L+

Customer: GLOBAL ACADEMY
3000 5th STREET NW
NEW BRIGHTON, MN 55112

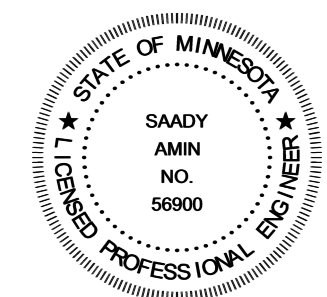
Drawn By: ED

Checked By: --

Page No.: 04B

Submitted For:	Submitted On:	Rev. Description
Engineering	2026 01 21	

Engineer Loads & Stamp (as required):



DATE SIGNED: 1/22/2026
DATE EXPIRES: 6/30/2026



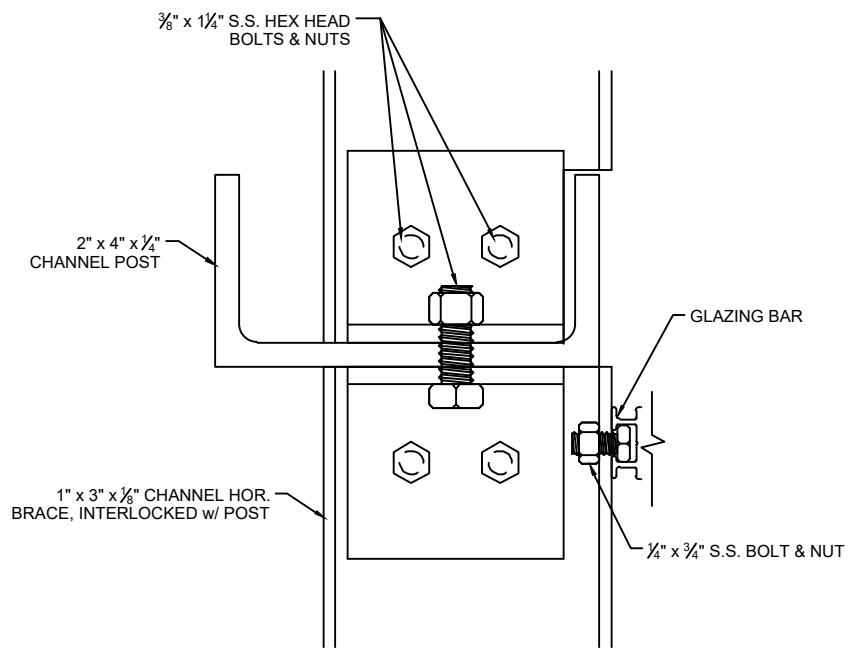
Product: CT 20 40 SG6SG6L+

Customer: **GLOBAL ACADEMY**
3000 5th STREET NW
NEW BRIGHTON, MN 55112

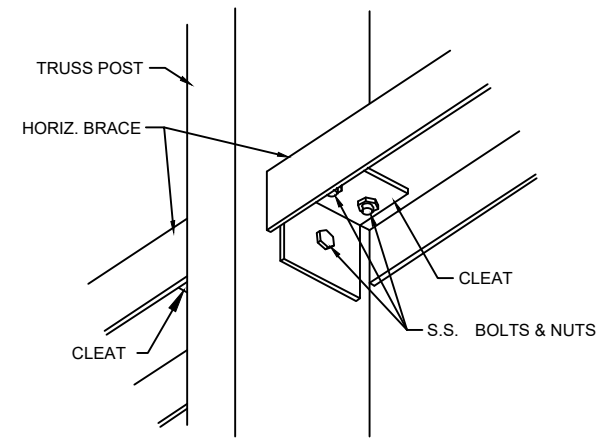
Drawn By: ED

Checked By: --

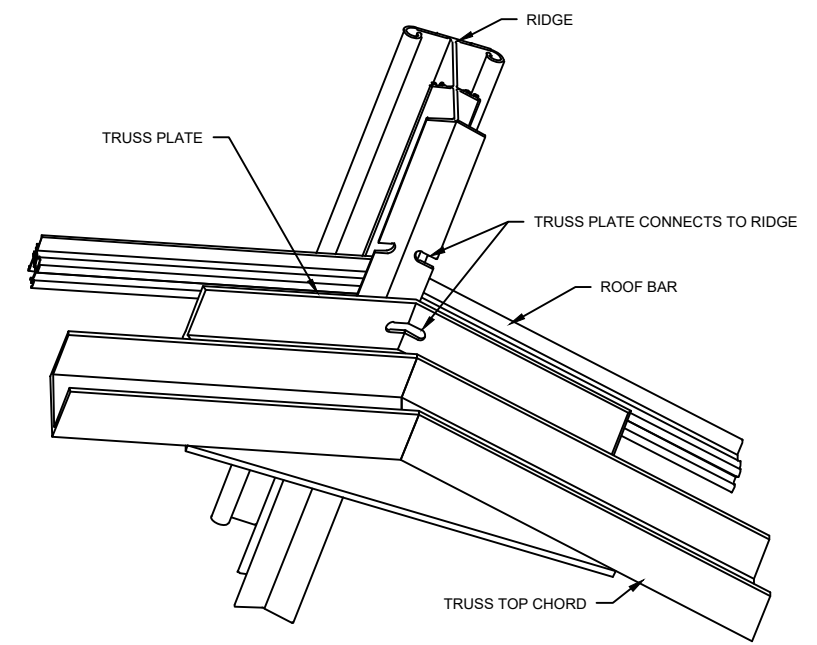
Page No.: 04C



4.13 POST AT GLAZING BAR
Scale: 6" = 1' - 0"

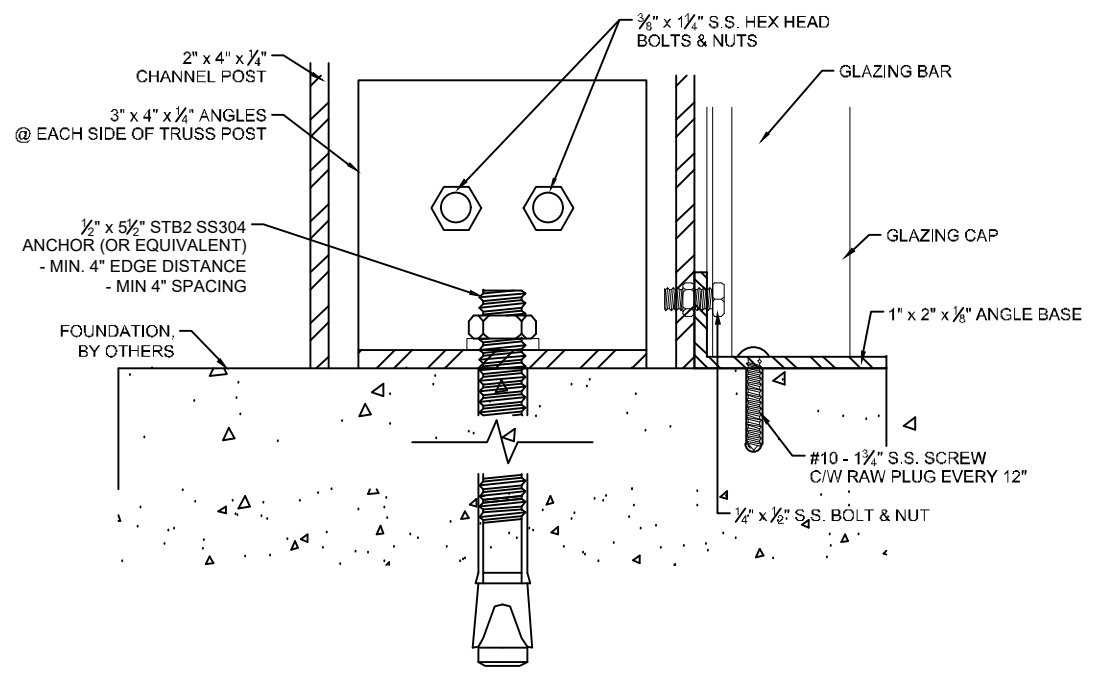


4.14 HORIZONTAL BRACE & POST CONNECTION DETAIL
Scale: NTS

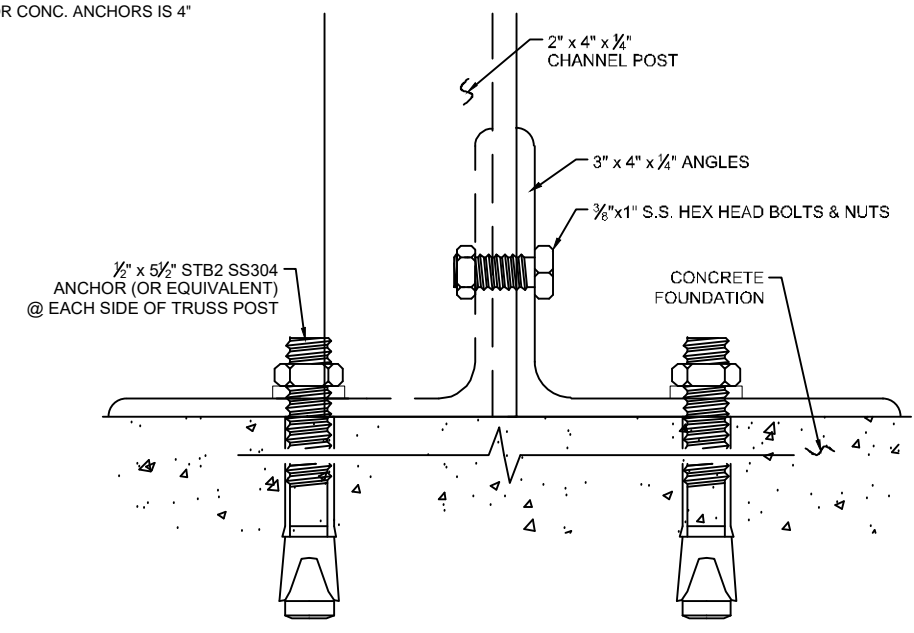


4.15 3D TRUSS PLATE AT RIDGE (VIEWED FROM INSIDE)
Scale: NTS

ANCHOR NOTES:
- MIN. EDGE DISTANCE FOR SCREW IS 1 1/2"
- MIN. EFF. EMBED DEPTH FOR 1/2" CONC. ANCHOR IS 4"
- MIN. EFF. EMBED DEPTH FOR 3/8" CONC. ANCHOR IS 3.25"
- MIN. EDGE DISTANCE FOR CONC. ANCHORS IS 4"



4.16 POST ANCHOR
Scale: 6" = 1' - 0"



4.17 GABLE POST/TRUSS POST ANCHORING
Scale: 6" = 1' - 0"

Ponding and Flowage Easement- Partial Vacation Exhibit

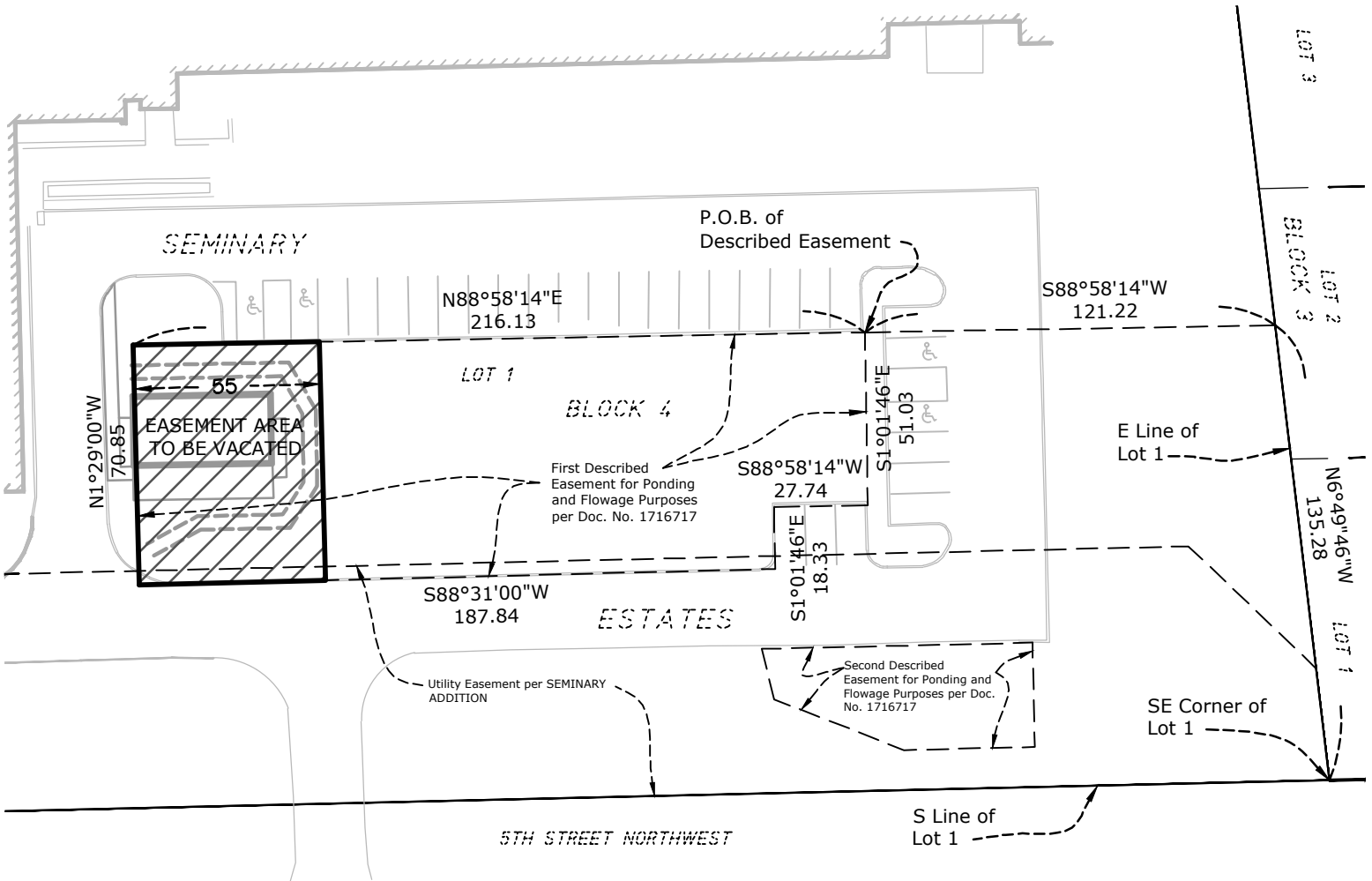
Lot 1, Block 4, Seminary Estates

City of New Brighton, Ramsey County, Minnesota

EASEMENT VACATION DESCRIPTION

The West 55.00 feet of the first described Ponding and Flowage Easement in Document No. 1716717, filed in the Office of the Registrar of Titles, Ramsey County, Minnesota, said Easement being described as follows:

An easement over, under and across that part of Lot 1, Block 4, SEMINARY ESTATES, according to the recorded plat thereof, described as commencing at the southeast corner of said Lot 1; thence North 6 degrees 49 minutes 46 seconds West, assumed bearing, along the east line of said Lot 1 a distance of 135.28 feet; thence South 88 degrees 58 minutes 14 seconds West a distance of 121.22 feet to the point of beginning of said easement to be described; thence South 1 degree 01 minutes 46 seconds East a distance of 51.03 feet; thence South 88 degrees 58 minutes 14 seconds West a distance of 27.74 feet; thence South 1 degree 01 minute 46 seconds East a distance of 18.33 feet; thence South 88 degrees 31 minutes 00 seconds West a distance of 187.84 feet; thence North 1 degree 29 minutes 00 seconds West a distance of 70.85 feet; thence North 88 degrees 58 minutes 14 seconds East a distance of 216.13 feet to the point of beginning.



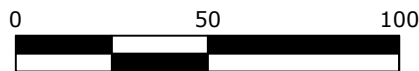
MINNESOTA CERTIFICATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 17th day of April, 2026

Rory L. Synstelien

Minnesota License No. 44565



SCALE IN FEET

CivilSite
GROUP

5000 GLENWOOD AVENUE
GOLDEN VALLEY, MN 55422
CivilSiteGroup.com

Drawn By: TH

Project No. 18017.05

SHEET 1 OF 1

Project Narrative – Global Academy Greenhouse:

Dear City of New Brighton,

Global Academy is requesting permission to build a 20' x 40' greenhouse on its campus. The greenhouse will be used by students and staff for educational purposes. We anticipate multiple benefits for students and staff to enrich learning from this proposed greenhouse.

Global Academy will fund the project through a grant, which was awarded from the Mortenson Company.

We have been working with Civil Site Group to engineer a site on campus that assures safety to the students. Civil Site is also making sure the greenhouse will meet all watershed requirements as well as runoff requirements as per Rice Creek Watershed and the City of New Brighton.

Global Academy is working in conjunction with Wisconsin Greenhouse Company who design the greenhouse as well as construct it.

The timing of the project is dependent on City approval, but our goal is to start construction immediately.

We are very excited for all the ways this greenhouse will benefit the education here at Global Academy. Please contact me directly with any questions. Thank you

Brandon Krosch

Buildings and Grounds Manager – Global Academy

763-245-0777

Conditional Use Permit Worksheet:

1- Explain how your proposed use will not be detrimental to the health, safety, morals, or welfare of people living or working near your proposed use.

Our main concern is the safety of the students at Global Academy. The proposed location of the greenhouse requires students to cross a small section of parking lot. To assure safety we propose a crosswalk to be painted indicating to any traffic in the lot that this is an area students will be crossing. We will also provide visual metal signage facing south and another sign facing east so that vehicles approaching are aware of the crosswalk. All students will be accompanied by a staff member that will survey the area for any dangerous situations. Students would exit the building out door number 1 and travel down the walking ramp to the west. This location allows people using the crosswalk visibility should vehicles travel from either directions. At the bottom of this ramp the crosswalk would be indicated to cross the walk – approximately 30 feet. A walking path will then lead them safely to the greenhouse. Please see image below of proposed discussed crosswalk.

We do not foresee any other safety or health concerns with the proposed location.



2 – Describe why your use will not be injurious to the use and enjoyment of nearby properties, and why it will not substantially diminish or impair property values in the area.

The proposed location will not be injurious to any of the nearby properties. The location provides a visual improvement to the prairie area of the school, which currently looks vacant and unkept. We do not see that the greenhouse will impair property values.

3 – Show how your proposed use will not impede the normal and orderly development or improvement of surrounding properties.

The proposed location of the greenhouse meets all the setback requirements of the City of New Brighton. We see nothing that would impede.

4 – Justify that your use will not impose an undue burden on public utilities (i.e. water, sewer, etc) or public services (i.e. public safety).

Our civil engineering team – Civil Site Group – has had all utilities marked regarding the proposed location. There are no public utilities that would interfere with the proposed location of the greenhouse. Please see attached Civil Site plan.

5 – Demonstrate that the use will be served by adequate parking and loading spaces, and that all storage on the site can be handled in conformance with code.

Construction of the greenhouse will not commence until after the school year is over for teachers and staff. Since there are no summer programs at Global Academy the parking lots have very few cars and plenty of space for loading and unloading in accordance with code.

6 – Verify that the use will not unnecessarily impact natural features such as woodlands, wetlands, and shorelines; and that all erosion will be properly controlled.

We refer to our civil engineering team on this who have been working with the city of New Brighton as well as the Rice Creek Watershed. They have also run numbers on the runoff from the parking lot. Upon conclusion of this study all parties see no damaging impacts that the greenhouse would create. I will refer to the attached study from Civil Site.

7 – Explain how your use conforms to any specific review criteria outlined in Zoning Code chapter 5 specific to your use.

I will refer to the city of New Brighton Zoning Code – Section 5.3 – 10a. The proposed greenhouse conforms to this by being over 30 feet from any residential boundary. Regarding Section 5.3 – 10b and c – these are not applicable to our situation as the greenhouse will not impede parent pickup and our busing occurs on the other side of campus away from the proposed location.



Agenda Section:	Business Items
Meeting Date:	May 19, 2026

REQUEST FOR COUNCIL CONSIDERATION – EXECUTIVE SUMMARY

ITEM DESCRIPTION: Conditional Use Permit / Site Plan: Application from Atonement Church and Little Voyageurs Montessori School to allow a new pre-school + kindergarten to operate out of a portion of the Atonement Church building at 1980 Silver Lake Road NW – PID 18-30-23-34-0077.

Action Requested: <u>Public Hearing</u>
Form of Action: <u>Recommendation</u>
Votes Needed: <u>4 Votes</u>

Summary Statement:	Atonement Church is seeking to welcome Little Voyageurs’ Montessori School to 1980 Silver Lake Road NW to operate from this location in the coming years. Little Voyageurs is losing their current location in Colombia Heights at the end of this school year and are seeking a new location prior to the ‘26-‘27 school year.
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Recommendations:	Per the analysis outlined in the report, staff is recommending APPROVAL of the request with conditions.
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Applicable Deadlines:	Based on an application date of 4/15/26, the 60-day review period for this application expires on 6/14/26. This deadline can be extended an additional 60-days if need be.
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Community Impact:	None provided all conditions are followed.
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Legislative History:	<p>1961: Atonement Church is built.</p> <p>1972: Atonement Church opens King’s Kids Preschool which has been in operation for 54 years but has seen enrollment declining and will be shut down at the end of this school year.</p> <p>026: Little Voyageurs are proposing to replace the previously existing day care with their own facility which will no longer be part of the church.</p>
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Strategic Priority:	<u>N/A</u>
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Fiscal Impact:	Financial Consideration?	<u>No</u>
	Revenue/Expenditure Amount:	\$
	Financing Source:	<u>N/A</u>
	Notes:	

Attachments:	1.	Staff Report
	2.	Draft Resolution
	3.	Mailing Map
	4.	Zoning Map
	5.	Site Plan
	6.	Drop Off and Parking Plan
	7.	Narrative
	8.	CUP Worksheet

To: **Planning Commission**

From: Ben Gozola, Assistant Director DCAD

Meeting Date: **5-19-26**

Applicants: Little Voyageurs' Montessori School & Atonement Church

Main Contacts: Karen Smith, Little Voyageurs' Montessori School

Location: 1980 Silver Lake Road

Zoning: **MUN (Mixed Use Neighborhood)**

Introductory Information

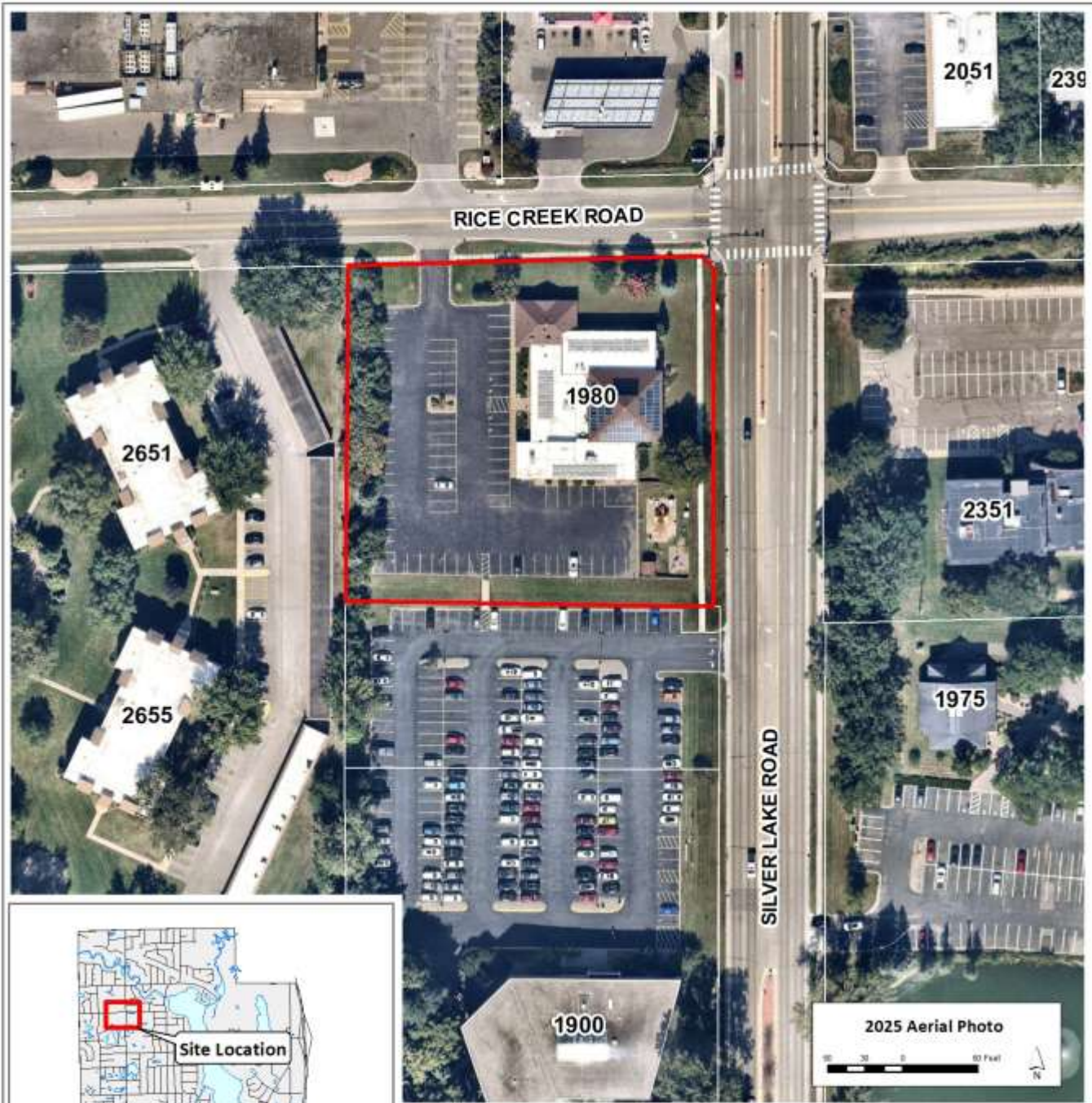
Project: ▪ Atonement Church is seeking to welcome Little Voyageurs' Montessori School to 1980 Silver Lake Road NW to operate from this location in the coming years. Little Voyageurs is losing their current location in Colombia Heights at the end of this school year and are seeking a new location prior to the '26-'27 school year.

History: ▪ 1961: Atonement Church is built.
 ▪ 1972: Atonement Church opens King's Kids Preschool which has been in operation for 54 years but has seen enrollment declining and will be shut down at the end of this school year.
 ▪ 2026: Little Voyageurs are proposing to replace the previously existing day care with their own facility which will no longer be part of the church.

Request(s): ▪ **Conditional Use Permit to authorize a school to operate out of the building at 1980 Silver Lake Road NW.**

General Findings

Site Data: ▪ Existing Lot Size ≈ 1.88 acres
 ▪ Existing Use – Church
 ▪ Existing Zoning – MUN
 ▪ Property Identification Number (PID): 18-30-23-34-0077



Location within the City of New Brighton

SITE IDENTIFICATION MAP

1980 Silver Lake Rd.



**Comp Plan
Guidance &
Zoning:**

- **The comprehensive plan guides this property for mixed use neighborhood, and places of public assembly (which encompasses churches) and schools are conditionally permitted uses.**

**Notable Code
Definitions:**

- **PLACE OF PUBLIC ASSEMBLY:** An institution or facility that congregations of people regularly attend to participate in or hold meetings, workshops, lectures, civic activities, religious services, and other similar activities, including buildings in which such functions and activities are held, but not including event centers or adult uses.
- **SCHOOL, PRE-K-12.** A public or private school offering general, technical, or alternative instruction at the elementary, middle, or high school level that operates in buildings or structures on land leased or owned by the educational institution for administrative purposes. Such uses include classrooms, vocational training (including that of an industrial nature for instructional purposes only in middle or high schools), laboratories, auditoriums, libraries, cafeterias, after school care, athletic facilities, dormitories, and other facilities that further the educational mission of the institution.

**Applicable
Codes:**

- **Chapter 3, Section 3.7(E) Mixed Use Zoning Districts.**
Outlines general requirements for the MUN zoning district.
- **Table 5-1: Principal Uses**
Table that lists all permitted uses within each of the City’s zoning districts.
- **Chapter 5, Section 5.3(B)(10) Specific Requirements for Schools.**
Outlines specific criteria that must be met by schools.

**Applicant’s
Narrative:**

Dear New Brighton City Council,

Little Voyageurs' Montessori School (LVMS) is currently located in Columbia Heights, MN and has been in operation since 1968. It is one of the oldest Montessori Schools in the Twin Cities area that has been providing an early childhood and kindergarten Montessori educational program. We are a 501(c)3 non-profit governed by a parent-run Board. Additionally, LVMS is accredited by the National Association for the Education of Young Children (NAEYC) and has a "4 of 4-star" rating from the Parent Aware Program and licensed through the MN Department of Children, Youth, and Families.

LVMS is a very diverse school community in terms of our staff, children, and families - we come from a variety of ethnic, racial, religious, and socioeconomic backgrounds. LVMS

(cont.) strives to be a welcoming place for all and aims to provide a Montessori education to children who may not otherwise have access to one.

Many of our families are on some sort of financial assistance - either through the Early Learning Scholarships or county assistance (CCAP), or through our own financial aid program. We care deeply about making Montessori education accessible to anyone who would like to participate in one. Additionally, our families come from a variety of communities in the surrounding area - 18% of our enrolled children currently reside in New Brighton, the highest concentration from any of the surrounding communities.

Little Voyageurs' Montessori School is currently serving 30-35 children, and we do not anticipate having over 40 children. Our formal Montessori program is 8:30am -3:30pm. Many children come earlier and/or stay later so their times vary. Children currently arrive generally between 7:15 a.m. and 9:30 a.m. and depart 3:00 p.m. to 5:30 p.m. Therefore, everyone does not arrive or leave at the same time. There is a group of parents arriving between 8:00 and 8:45am. There are a group of parents that pick up between 3:25 - 3:45 p.m. Parents will park their vehicle and walk their child in or out and sign their child in or out as required by licensing. Other parents will drop off or pick their child up before and after work during the earlier and later hours. There will not be a long line of vehicles that would back up onto any of the streets. Additionally, we offer flexibility for parents. Parents have the option to choose a half-day or full-day program, and extended care is available before and after the Montessori sessions. We are a year-round program, and our current licensed hours are 6:00am-6:00pm. There are enough parking spaces to accommodate parents dropping off and picking up because parents arrive at various times. LVMS does not transport children or have a bus company transporting children.

LVMS currently has 10 staff. There is an overlap during the day, which all staff may be present for a period of time. We do have part-time staff that may not work every day. Our staff work hard to be a program that stands apart from the rest, and in providing an exceptional environment and programming for young children. We have dedicated, long-term staff- many of whom have been with our school for 10-20+ years.

We were informed in late December 2025 that our lease was not going to be renewed after 25+ years of continuous operation in our current space. This was unexpected and very difficult news for us, but we were determined to find a new location where we could continue providing an outstanding Montessori program for years to come. After receiving this news, we were introduced to Atonement Lutheran Church in New Brighton through a mutual connection. After touring many spaces and exhausted all options within a reasonable distance from our current location, it became clear to us that Atonement

(cont.) *Lutheran Church is the only location that could meet the space needs for our Montessori program.*

To begin with, Atonement Lutheran Church has a great foundation for a program. They have had an early childhood program in their space for many years, so they have a wing of the building that is already set up for a program. (This program had already planned to end after this school year, prior to us coming into the picture.) Although some modifications will need to be made to the space for it to be conducive to the Montessori philosophy and the needs of our program, it is a great base to work with. Additionally, we have already established a good rapport with various members of the church and church staff. We look forward to a mutually beneficial collaborative relationship with them for years to come. Finally, many of our families have expressed support for our decision to partner with Atonement Lutheran Church and are hopeful about the transition to a new space.

This admittedly hasn't been an easy journey for us. We're sad to see a long chapter in our school's history come to a close. However, we look forward with anticipation to the future and to starting a new chapter of our school's history. Thank you very much for your consideration to approve our CUP application so that we can continue to be an asset to the New Brighton community, and to the youth and families of the surrounding area, for years to come.

*Kind regards,
Karen Smith
LVMS Parent's Board*

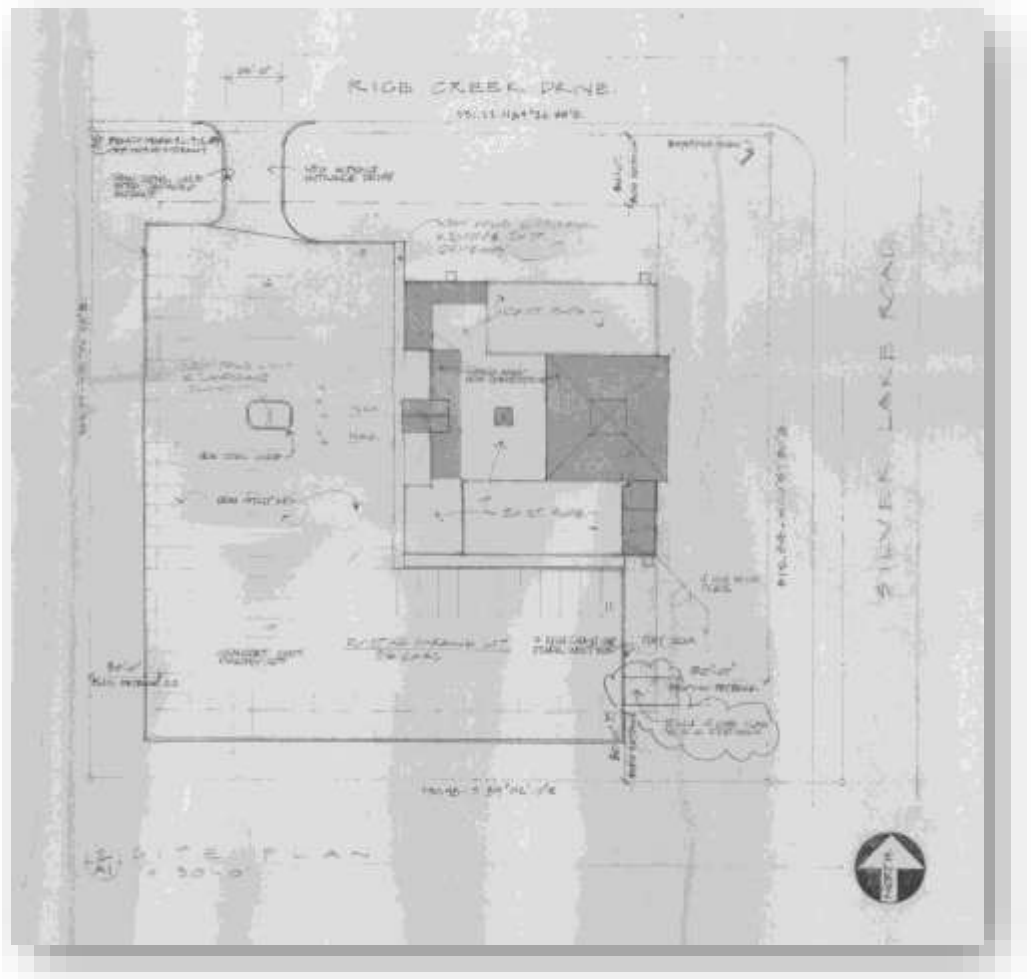
Additional Info:

- Atonement's activities are mainly during the evening and weekend hours. There is a small staff that work daily at the church office and there are a few activities during the week for their members.*
- Little Voyageurs' Montessori School will operate Monday through Friday from about 6:00 am to 6:00 pm so there will be little overlap of programs.*
- The main entrance to the parking lot is from Rice Creek Road.*
- Parents will enter and drive south in the right (west) driving lane and park, then enter the building on the south side of the building (southwest corner) which will be Little Voyageurs' entrance. This entrance is away from the main church entrance.*
- There are 73 parking spaces and 4 handicap spaces for a total of 77 parking spaces.*

- (cont.)
- The current playground is by the southeast corner of the building and has a storage shed for playground equipment and toys. The playground has a fence about 6 feet high on the east side which was installed by New Brighton City. On the north, west, and south sides of the playground there is currently a 4-foot fence. The plan is to install new fencing on the north, west, and south sides that are 6-8 feet high. The playground currently has grass and sand areas and wood chips under the climbing equipment.

Site Plan Overview: A formal site plan review is not necessary for this application as no new construction is proposed by the applicant. The following site plan details and review are provided to give context to the subsequent conditional use permit examination.

This is the general layout of the property with minor variations to the parking lot layout. For the purposes of reviewing the new school use, staff found this old site plan to be acceptable.



The following shows the proposed traffic flow for pick-up/drop off as well as the proposed outside recess area.



Data Description
 Parcels – Obtained from Ramsey County, Updated in Jan, 2024.
 Aerial Photo – Obtained from Ramsey County, Taken on Aug 2023.
 1 inch = 40 feet
 0 20 40 feet

Additional Info
 Right of Way width include the street pavement and the boulevard.
 The boulevard is the area between the property line and the curb. This area is usually 10 to 20 feet wide.
 Property lines can be determined by locating the property stakes. The stakes are buried at each corner of the lot and can be located with a metal detector.

Disclaimer
THIS IS NOT A SURVEY
 The information displayed on this map is for reference purposes only and may contain errors. The City of New Brighton claims no liability if the data is used for any other purpose. Contact the New Brighton GIS Dept. with any questions at 091-678-2558.

Right:

Proposed area of a playground extension into the adjacent parking lot as generally agreed upon with the applicant. The final configuration of fencing must be approved by DCAD and the Fire Marshall prior to installation.



Above: a gap must be maintained between the play area and building for fire protection purposes.

Left: existing fencing must be replaced.

Conditional Use Permit Review:

In General: ▪ Schools require a Conditional Use Permit in the MUN zoning district.

Criteria Review: Issuance of a CUP requires an analysis of the proposed use against the following specific review criteria established in code.

1. The conditional use will not be detrimental to the health, safety, morals, or welfare of persons residing or working near the use.

APPLICANT COMMENTS: *Little Voyageurs' Montessori School (LVMS) is a year-round Montessori program for children 3-6 years (preschool/kindergarten). Our activities will be within the building and in the boundaries of the property. There will be no health, safety, moral, or welfare-related threats on or near our site.*

Staff Analysis: As proposed, staff would agree that a small school (no more than 40 students under this CUP) would not be detrimental to those residing or working near the existing church. Importantly, this property has maintained the King's Kids daycare for decades which used to have enrollments similar to this proposed school, so this use is not entirely new to this location. Should the school ever wish to exceed 40 students, it would need to amend this CUP to set a new maximum and address any/all additional impacts that come from more traffic, potential need for an expanded outdoor play area, etc.

From a safety perspective, staff are recommending the following conditions for this CUP:

- a) The existing outdoor play area needs new fencing on its north, west, and south sides. The applicant has indicated they intend to use 6' tall black vinyl chain-link which would be allowable if approved as part of this CUP as being appropriate for this location and for site aesthetics. Given the purpose and location of this fencing, staff believe black vinyl chain link would be appropriate and would not detract from the area.
- b) New play area fencing may extend into the parking lot in the general configuration shown on page 8, but final configuration of fencing must be approved by DCAD and the Fire Marshall prior to installation. New fencing within the parking lot area is expected to require installation of new curbing to control stormwater and add protection for the plan area.
- c) One new accessible parking space shall be provided on the south side of the building, or the applicants must demonstrate that existing accessible spaces to the west of the building meet all qualifications to satisfy accessibility standards.

Criterion met with conditions.

- (cont.) 2. ***The conditional use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.***

APPLICANT COMMENTS: *The use is for young children, which is the current use of the space (for over 40 years) - we will be replacing a young children's program that is currently onsite and will be closing. The majority of the immediate properties are businesses and apartment buildings. If anything, it will bring support to the local young families.*

Staff Analysis: As noted, this is not really a new use to this site as the King's Kids daycare has run out of this space for decades, and did at one time care for roughly the same number of children that are expected to enroll at the new school. This CUP is necessary though to address the return to the higher number of students when compared to King's Kids enrollment in recent years.

It is notable that this site has both significant distance and/or physical barriers between it and adjacent housing, thereby addressing potential impacts to surrounding residential properties. As there is nothing to suggest this use will have substantial impacts on area property values, we find **this criterion can be met provided the conditions within this report are followed.**

3. ***The conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.***

APPLICANT COMMENTS: *Our program will be contained to the facility and grounds of the church. There will be no negative impact to the surrounding properties.*

Staff Analysis: The proposed addition of a small school to this site to replace the long-tenured day care should have no impact on the use of nearby properties provided all conditions of approval are continually met. **Criterion met with conditions.**

4. ***The conditional use will not pose an undue burden on public utilities or roads, and adequate sanitary facilities are provided.***

APPLICANT COMMENTS: *A small early childhood program will not impose undue burden on public utilities or public services. The program includes normal learning and play activities that young children participate in that help them develop physically and mentally.*

Staff Analysis: Given the proposed limitation on students at 40, staff believes there is currently ample room for vehicle stacking during pick up and drop off times such that vehicles will never stack back into Rice Creek Road. As a condition of approval, should stacking ever back up into the roadway, the school must agree to meet with DCAD staff to identify and implement a new pick-

(cont.)

up/drop-off plan to eliminate all backups into the road. **Criterion met with conditions.**

5. ***The conditional use can provide adequate parking and loading spaces, and all storage on the site can be done in conformance with City code requirements.***

APPLICANT COMMENTS: *The parking lot has more than enough spaces to accommodate our full staff, as well as parents dropping off/picking up (in addition to the parking needs of Atonement church members). Parents will park and walk their children into the building to sign-in/sign-out, as required by DCYF (Licensing). An outside storage building (shed) is currently located on the SW corner of the playground for the outside equipment and toys.*

Staff Analysis: Parking will not be an issue as the hours of operation for the school and church services which demand parking do not overlap. No outside storage is proposed. **Criterion met.**

6. ***The conditional use will not unnecessarily impact natural features such as woodlands, wetlands, and shorelines; and all erosion will be properly controlled.***

APPLICANT COMMENTS: *None of the features stated above exist on or near the property. The surrounding area includes businesses such as grocery and retail stores, another church, a gas station, and community golf course.*

Staff Analysis: There are trees on the property, but none are proposed to be impacted by this new use. No grading is proposed, so erosion should not be an issue. **Criterion met.**

7. ***The conditional use will adhere to any applicable additional criteria outlined in Chapter 5 for the proposed use.***

APPLICANT COMMENTS: *The parking lot and the area for parents to drop-off and pick-up are part of the property and we have a designated entrance door. Overnight parking is not permitted. The outside play area is already established on the property, continuous to the facility. It currently has a 4-foot fence on 3 sides and a higher fence to the east; the fence separates the parking lot and the play area. The play area currently has grass and a sand area, and does not have impervious surface for more than one-half of the playground area. It meets the minimum size requirement of 2,000 square feet.*

Staff Analysis: Please see all sub criteria below.

- (a) ***Principal structures shall not be located less than 30 feet from any boundary line used or intended to be used for residential purposes.***

Staff Analysis: **Criterion met.**

(cont.)

(b) Site design shall accommodate adequate space for parent pick-up/drop off queuing. If on-street queuing cannot be avoided, the school shall be responsible for modifications to the street design (if required by the Department of Community Assets & Development) to protect traffic flow on the affected road.

Staff Analysis: As previously noted, staff accepts the assertion that queuing for pick-up and drop-off will not back up into the roadway, but we are recommending a condition to require a redesign of pick-up/drop-off practices should it ever become a problem. This change, should it be necessary in the future, can be administratively approved by staff. **Criterion met with conditions.**

(c) A bus plan shall be prepared to show how bussing will be accommodated, and how students will safely access their bus.

Staff Analysis: No bussing will be provided to this site, so this is not an issue. **Criterion met.**

(d) K – 12 Schools in mixed use districts must have a regional orientation and be part of a mixed-use development.

Staff Analysis: The Little Voyageurs’ Montessori School serves children throughout the metro, and will become a mixed-use feature as a secondary component to the church use on this site. **Criterion met.**

Supplementary Review & Public Comment

Additional Information:	<ul style="list-style-type: none"> ▪ None
Engineering Review:	<ul style="list-style-type: none"> ▪ No concerns noted.
Ramsey County Review:	<ul style="list-style-type: none"> ▪ If/when the entrance is repaved, the facility will need to acquire a commercial access permit from Ramsey County.
Public Safety Review:	<ul style="list-style-type: none"> ▪ Fencing around the playground area must not block access to the buildings Fire Department Connection (FDC), and the existing gap in fencing providing access to the south side of the building must be preserved. ▪ Accessible parking options:

- (cont.)
1. Existing accessible spaces on the western side of the building must be given accessible access to the school entrance; or
 2. An additional accessible space must be added to the south of the building and be given accessible access to the school entrance.

Public Comment: ▪ There have been no comments received for or against this proposal as of 5/14/26.

Planning Commission Review: ▪ The Planning Commission will hold a public hearing on this request at their meeting on 5/19/26.

Conclusion:

The application is requesting a Conditional Use Permit to authorize a small school to operate from the property at 1980 Silver Lake Road NW.

Staff Recommendation: Per the analysis outlined in the report, staff is recommending **APPROVAL** of the request with conditions.

Commission Options:

The Planning Commission has the following options:

- A) RECOMMEND APPROVAL OF THE REQUEST based on the applicant’s submittals and findings of fact.
- B) RECOMMEND DENIAL OF THE REQUEST based on the applicant’s submittals and findings of fact.
- C) TABLE THE ITEM and request additional information.

Based on an application date of 4/15/26, the 60-day review period for this application expires on 6/14/26. This deadline can be extended an additional 60-days if need be.

Template Denial Motion: ▪ “I move that we recommend the City Council deny the requested conditional use permit based on the following findings of fact:”
 (not recommended) ○ (provide findings to support your conclusion)

**Template Approval
Motion:
RECOMMENDED**

- “I move we recommend the City Council approve the requested conditional use permit authorize a small school to operate from the property at 1980 Silver Lake Road NW based on the findings of fact and conditions listed on pages 14 & 15 of the report as may have been amended here tonight.”

**Suggested Findings
of Fact:**

1. The subject property is guided for mixed use neighborhood by the comprehensive plan, and both churches and school uses are conditionally permitted within the MUN zoning district.
2. Establishment, maintenance, and operation of a small school at the proposed location will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare provided all conditions are followed.
3. The existing building along with the proposed site plan can accommodate the use without impacting surrounding lands.
4. Conditions can be placed on this CUP to ensure drive lanes remain open and are not impacted by proposed school activities.
5. The school should not have detrimental impact on area property values provided all conditions are followed.
6. The subject site is adequately served by public utilities, roads, and drainage facilities to accommodate the proposed use.
7. The conditional use will be in conformance with all underlying zoning district requirements.

**Recommended
Conditions:**

1. No more than 40 students are authorized under this conditional use permit. Enrollment of over 40 students shall NOT occur until this CUP is amended to allow for a larger enrollment number subject to additional conditions.
2. The existing play area shall be encompassed by new fencing to the north, west, and south. This new fencing may consist of 6’ tall black vinyl coated chain link fencing. Final configuration of the fencing shall be approved by DCAD and the Fire Marshal prior to purchase and installation. If required, new curbing shall be installed within the parking lot to control stormwater and provide a physical barrier between the parking area and play area.
3. The existing fencing to the east along Silver Lake Road may continue to be used, but any expansion of eastern fencing shall utilize uniform materials to the existing fence.
4. If/when the entrance to the property is repaved, the facility shall be required to obtain a commercial access permit from Ramsey County.

- (cont.)
5. One new accessible parking space shall be provided on the south side of the building, or the applicants must demonstrate that existing accessible spaces to the west of the building meet all qualifications to satisfy accessibility standards.
 6. Should stacking of parent pick-up/drop-off vehicles ever back up into any public right-of-way, the school shall meet with DCAD staff to identify and implement a new pick-up/drop-off plan to eliminate all backups into the right-of-way.

cc: Karen Smith (primary contact)

**RESOLUTION
CITY COUNCIL
CITY OF NEW BRIGHTON**

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT
TO AUTHORIZE LITTLE VOYAGEURS MONTESSORI SCHOOL TO OPERATE AT
1980 SILVER LAKE ROAD**

WHEREAS, the City of New Brighton is a municipal corporation, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of the New Brighton has adopted a comprehensive plan and corresponding zoning regulations to promote orderly development and utilization of land within the city; and,

WHEREAS, Atonement Church (the “Applicant”) is seeking a conditional use permit to allow operation of the Little Voyageurs’ Montessori School on church property at 1980 Silver Lake Road (the “Property”) which has the PID number 18-30-23-34-0077, and

WHEREAS, staff fully reviewed the request and prepared a report for consideration by the Planning Commission at their meeting on May 19, 2026; and

WHEREAS, the Planning Commission held a public hearing on the request at the May 19, 2026, meeting and considered input from residents; and recommended conditional approval of the request based on the applicant’s submittals and findings of fact; and

WHEREAS, the City Council considered on May 26, 2026, the recommendations of the Planning Commission, Staff, the Applicant's submissions, the contents of the staff report, and other evidence available to the Council.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of New Brighton hereby approves the requested conditional use permit based on the following findings of fact:

1. The subject property is guided for mixed use neighborhood by the comprehensive plan, and both churches and school uses are conditionally permitted within the MUN zoning district.
2. Establishment, maintenance, and operation of a small school at the proposed location will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare provided all conditions are followed.
3. The existing building along with the proposed site plan can accommodate the use without impacting surrounding lands.

4. Conditions can be placed on this CUP to ensure drive lanes remain open and are not impacted by proposed school activities.
5. The school should not have detrimental impact on area property values provided all conditions are followed.
6. The subject site is adequately served by public utilities, roads, and drainage facilities to accommodate the proposed use.
7. The conditional use will be in conformance with all underlying zoning district requirements.

BE IT FURTHER RESOLVED, that approval of the conditional use permit amendment shall be subject to the following conditions:

1. No more than 40 students are authorized under this conditional use permit. Enrollment of over 40 students shall NOT occur until this CUP is amended to allow for a larger enrollment number subject to additional conditions.
2. The existing play area shall be encompassed by new fencing to the north, west, and south. This new fencing may consist of 6' tall black vinyl coated chain link fencing. Final configuration of the fencing shall be approved by DCAD and the Fire Marshal prior to purchase and installation. If required, new curbing shall be installed within the parking lot to control stormwater and provide a physical barrier between the parking area and play area.
3. The existing fencing to the east along Silver Lake Road may continue to be used, but any expansion of eastern fencing shall utilize uniform materials to the existing fence.
4. If/when the entrance to the property is repaved, the facility shall be required to obtain a commercial access permit from Ramsey County.
5. One new accessible parking space shall be provided on the south side of the building, or the applicants must demonstrate that existing accessible spaces to the west of the building meet all qualifications to satisfy accessibility standards.
6. Should stacking of parent pick-up/drop-off vehicles ever back up into any public right-of-way, the school shall meet with DCAD staff to identify and implement a new pick-up/drop-off plan to eliminate all backups into the right-of-way.

ADOPTED this 26th day of May, 2026, by the New Brighton City Council with a vote of __ ayes and __ nays.

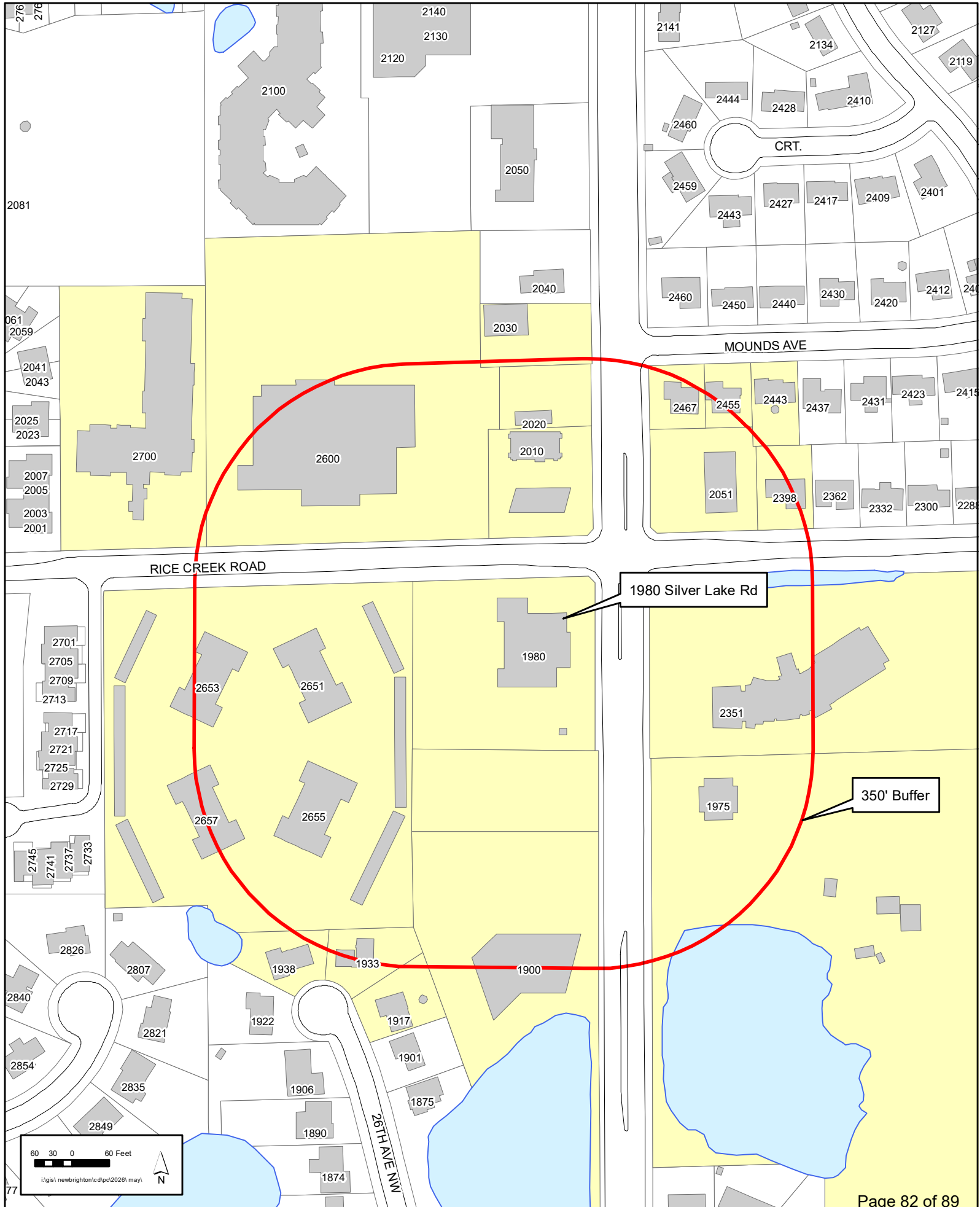
Kari Niedfeldt-Thomas, Mayor

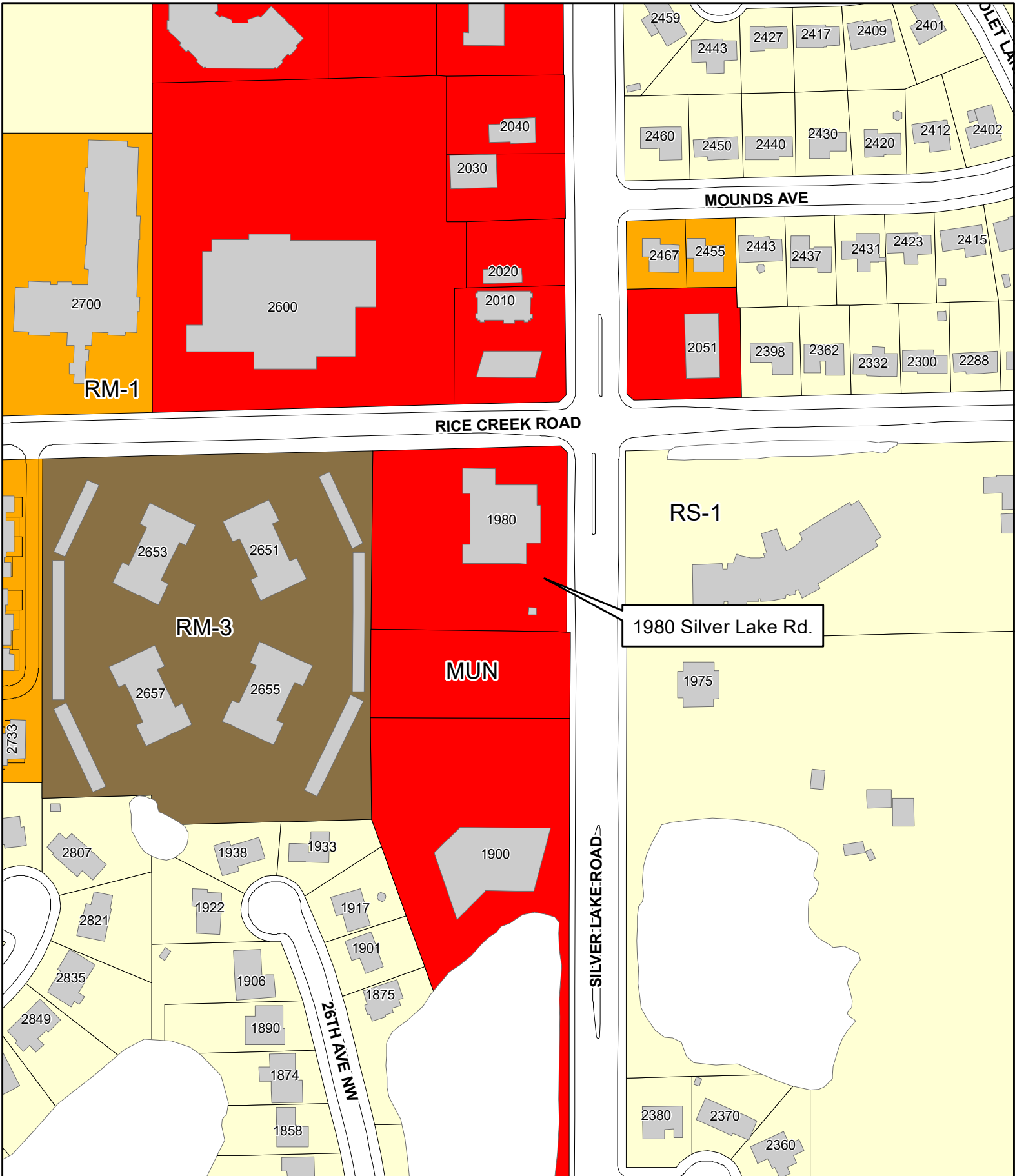
Devin Massopust, City Manager

ATTEST:

Terri Spangrud, City Clerk

1980 Silver Lake Rd - 350' Mailing List



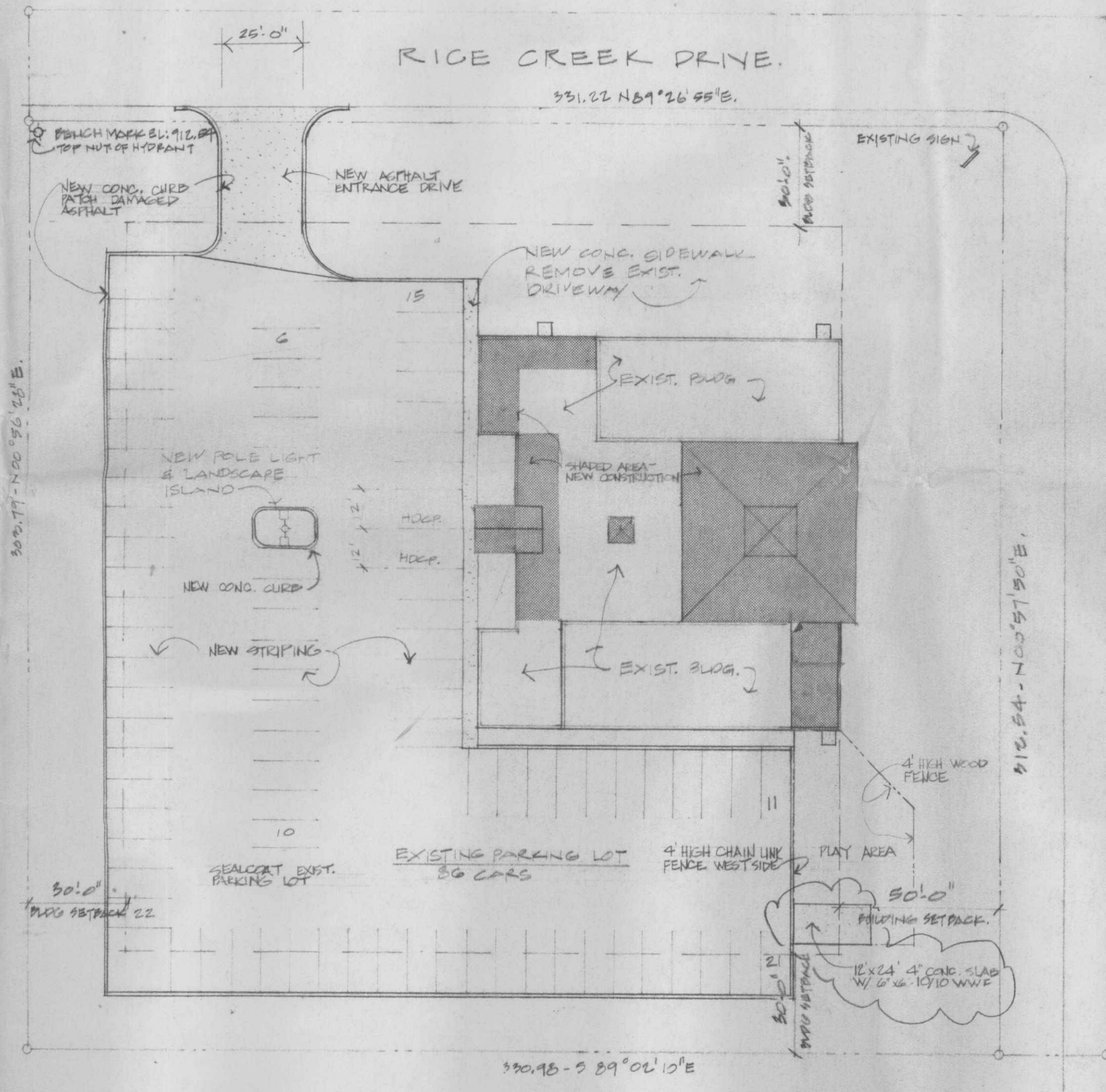


- RS-1, Single Family Low Density
- RM-1, Multi-Family Low Density
- RM-3, Multi-Family High Density
- MUN, Mixed Use Neighborhood



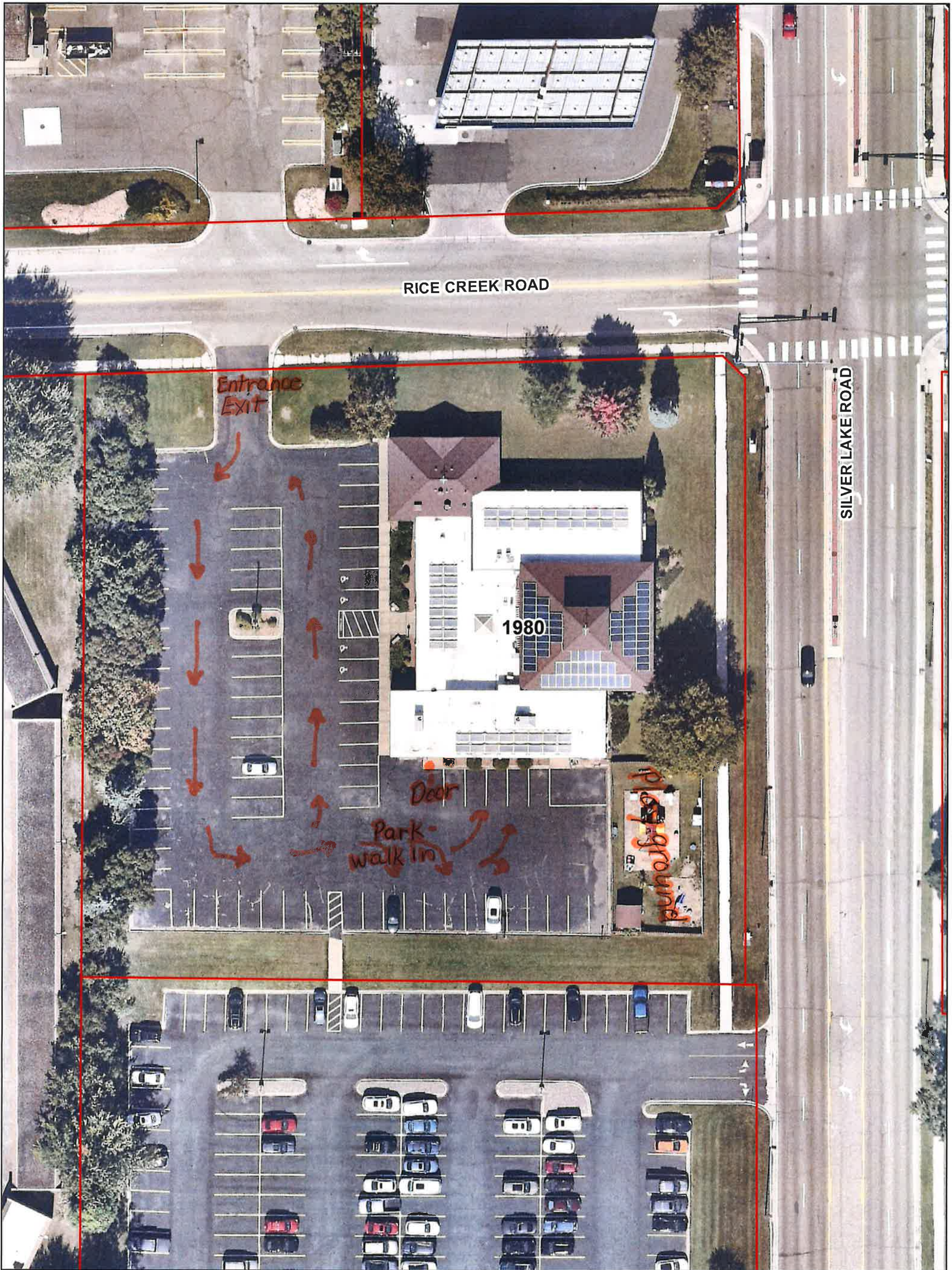
Current Zoning

1980 Silver Lake Rd
 MUN, Mixed Use Neighborhood



2 SITE PLAN
 A1 1" = 30'-0"





1980 Silver Lake Rd

Data Description

Parcels - Obtained from Ramsey County, Updated in Jan, 2026.
 Aerial Photo - Obtained from Ramsey County Taken Spring 2024.

1 inch = 40 feet

40 20 0 40 Feet

Additional Info

Right of Way width include the street pavement and the boulevard.

The boulevard is the area between the property line and the curb. This area is usually 10 to 20 feet wide.

Property lines can be determined by locating the property stakes. The stakes are buried at each corner of the lot and can be located with a metal detector.



Disclaimer

THIS IS NOT A SURVEY

The information displayed on this map is for reference purposes only and may contain errors. The City of New Brighton cannot be held liable if this data is used for any other purpose. Contact the New Brighton GIS Dept. with any questions at 651-638-2058.



LITTLE VOYAGEURS' MONTESSORI SCHOOL

825 51st Avenue N.E.
Columbia Heights, MN 55421
763-788-0889 www.lvmschool.com

Dear New Brighton City Council,

Little Voyageurs' Montessori School (LVMS) is currently located in Columbia Heights, MN and has been in operation since 1968. It is one of the oldest Montessori Schools in the Twin Cities area that has been providing an early childhood and kindergarten Montessori educational program. We are a 501(c)3 non-profit governed by a parent-run Board. Additionally, LVMS is accredited by the National Association for the Education of Young Children (NAEYC) and has a "4 of 4-star" rating from the Parent Aware Program and licensed through the MN Department of Children, Youth, and Families.

LVMS is a very diverse school community in terms of our staff, children, and families – we come from a variety of ethnic, racial, religious, and socioeconomic backgrounds. LVMS strives to be a welcoming place for all and aims to provide a Montessori education to children who may not otherwise have access to one. Many of our families are on some sort of financial assistance – either through the Early Learning Scholarships or county assistance (CCAP), or through our own financial aid program. We care deeply about making Montessori education accessible to anyone who would like to participate in one. Additionally, our families come from a variety of communities in the surrounding area – 18% of our enrolled children currently reside in New Brighton, the highest concentration from any of the surrounding communities.

Little Voyageurs' Montessori School is currently serving 30-35 children, and we do not anticipate having over 40 children. Our formal Montessori program is 8:30am -3:30pm. Many children come earlier and /or stay later so their times vary. Children currently arrive generally between 7:15 am and 9:30 am. And depart 3:00pm to 5:30pm. Therefore, everyone does not arrive or leave at the same time. There is a group of parents arriving between 8:00 and 8:45am. There are a group of parents that pick up between 3:25 – 3:45 pm. Parents will park their vehicle and walk their child in or out and sign their child in or out as required by licensing. Other parents will drop off or pick their child up before and after work during the earlier and later hours. There will not be a long line of vehicles that would back up onto any of the streets. Additionally, we offer flexibility for parents. Parents have the option to choose a half-day or full-day program, and extended care is available before and after the Montessori sessions. We are a year-round program, and our current licensed hours are 6:00am-6:00pm. There are enough parking spaces to accommodate parents dropping off and picking up because parents arrive at various times. LVMS does not transport children or have a bus company transporting children.

LVMS currently has 10 staff. There is an overlap during the day, which all staff may be present for a period of time. We do have part-time staff that may not work every day. Our staff work hard to be a program that stands apart from the rest, and in providing an exceptional environment and programming for young children. We have dedicated, long-term staff – many of whom have been with our school for 10-20+ years.

We were informed in late December 2025 that our lease was not going to be renewed after 25+ years of continuous operation in our current space. This was unexpected and very difficult news for us, but we were determined to find a new location where we could continue providing an outstanding Montessori program for years to come. After receiving this news, we were introduced to Atonement Lutheran Church in New Brighton through a mutual connection. After touring many spaces and exhausted all options within a reasonable distance from our current location, it became clear to us that Atonement Lutheran Church is the only location that could meet the space needs for our Montessori program.

To begin with, Atonement Lutheran Church has a great foundation for a program. They have had an early childhood program in their space for many years, so they have a wing of the building that is already set up for a program. (This program had already planned to end after this school year, prior to us coming into the picture.) Although some modifications will need to be made to the space for it to be conducive to the Montessori philosophy and the needs of our program, it is a great base to work with. Additionally, we have already established a good rapport with various members of the church and church staff. We look forward to a

Site Plan Detail

Atonement Lutheran Church
1980 Silver Lake Road
New Brighton, MN 55112

Atonement's activities are mainly during the evening and weekend hours. There is a small staff that work daily at the church office and there are a few activities during the week for their members.

Little Voyageurs' Montessori School will operate Monday through Friday from about 6:00 am to 6:00 pm so there will be little overlap of programs.

The main entrance to the parking lot is from Rice Creek Road. Parents will enter and drive south in the right (west) driving lane and park, then enter the building on the south side of the building (southwest corner) which will be Little Voyageurs' entrance. This entrance is away from the main church entrance.

There are 73 parking spaces and 4 handicap spaces for a total of 77 parking spaces.

The current playground is by the southeast corner of the building and has a storage shed for playground equipment and toys. The playground has a fence about 6 feet high on the east side which was installed by New Brighton City. On the north, west, and south sides of the playground there is currently a 4-foot fence. The plan is to install new fencing on the north, west, and south sides that are 6-8 feet high. The playground currently has grass and sand areas and wood chips under the climbing equipment.

Conditional Use Permit Worksheet

A Conditional Use Permit (CUP) cannot be approved unless the City Council finds that the following criteria have been met. Please provide a response as to how/why your project adheres to these standards. Use additional sheets if necessary and consult with the Assistant Director of Community Assets & Development if you need clarification on any of the below questions.

- 1) Explain how your proposed use will not be detrimental to the health, safety, morals, or welfare of people living or working near your proposed use.

Little Voyageurs' Montessori School (LVMS) is a year-round Montessori program for children 3-6 years (preschool/kindergarten). Our activities will be within the building and in the boundaries of the property. There will be no health, safety, moral, or welfare-related threats on or near our site.

- 2) Describe why your use will not be injurious to the use an enjoyment of nearby properties, and why it will not substantially diminish or impair property values in the area.

The use is for young children, which is the current use of the space (for over 40 years) - we will be replacing a young children's program that is currently onsite and will be closing. The children and their activities will not pose or diminish property values. The majority of the immediate properties are businesses and apartment buildings. If anything, it will bring support to the local young families.

- 3) Show how your proposed use will not impede the normal and orderly development or improvement of surrounding properties.

Our program will be contained to the facility and grounds of the church. There will be no negative impact to the surrounding properties.

- 4) Justify that your use will not impose an undue burden on public utilities (i.e. water, sewer, etc) or public services (i.e. public safety)?

A small early childhood program will not impose undue burden on public utilities or public services. The program includes normal learning and play activities that young children participate in that help them develop physically and mentally.

- 5) Demonstrate that the use will be served by adequate parking and loading spaces, and that all storage on the site can be handled in conformance with code.

The parking lot has more than enough spaces to accommodate our full staff, as well as parents dropping off/picking up (in addition to the parking needs of Atonement church members). Parents will park and walk their children into the building to sign in/sign out, as required by DCYF (Licensing). An outside storage building (shed) is currently located on the SW corner of the playground for the outside equipment and toys.

- 6) Verify that the use will not unnecessarily impact natural features such as woodlands, wetlands, and shorelines; and that all erosion will be properly controlled.

None of the features stated above exist on or near the property. The surrounding area includes businesses such as grocery and retail stores, another church, a gas station, and community golf course.

- 7) Explain how your use conforms to any specific review criteria outlined in Zoning Code Chapter 5 specific to your use.

The parking lot and the area for parents to drop-off and pick-up are part of the property and we have a designated entrance door. Overnight parking is not permitted. The outside play area is already established on the property, continuous to the facility. It currently has a 4-foot fence on 3 sides and a higher fence to the east; the fence separates the parking lot and the play area. The play area currently has grass and a sand area, and does not have impervious surface for more than one-half of the playground area. It meets the minimum size requirement of 2,000 square feet.